



Referral Early Consultation

Date: August 20, 2024

To: Distribution List (See Attachment A)

From: Emily DeAnda, Associate Planner
Planning and Community Development

Subject: STAFF APPROVAL APPLICATION NO. PLN2024-0046 – GLASS COURT WAREHOUSE

Respond By: September 4, 2024

******PLEASE REVIEW REFERRAL PROCESS POLICY******

The Stanislaus County Department of Planning and Community Development is soliciting comments from responsible agencies under the Early Consultation process to determine: a) whether or not the project is subject to CEQA and b) if specific conditions should be placed upon project approval.

Therefore, please contact this office by the response date if you have any comments pertaining to the proposal. Comments made identifying potential impacts should be as specific as possible and should be based on supporting data (e.g., traffic counts, expected pollutant levels, etc.). Your comments should emphasize potential impacts in areas which your agency has expertise and/or jurisdictional responsibilities.

These comments will assist our Department in preparing the conditions for a Staff Approval. Therefore, please list any conditions that you wish to have included as well as any other comments you may have. Please return all comments and/or conditions as soon as possible or no later than the response date referenced above.

Thank you for your cooperation. Please call (209) 525-6330 if you have any questions.

Applicant: Angel Zapien, API. Inc.

Project Location: 4621 Glass Court, between Galaxy Way and Glass Lane in the City of Modesto area.

APN: 046-011-047

Williamson Act Contract: N/A

General Plan: Planned Industrial

Current Zoning: Planned Industrial (P-I) (17)

Project Description: Request to construct a new 31± foot-tall six unit 21,338± square-foot building on a 1.16±-acre parcel within the Planned Industrial (P-I) (17) zoning district. The proposed units will be used for a mix of small offices and warehouses for storage. Each unit will have both a roll up door and a pedestrian entrance on the front of the building. The days and hours of operation will be Monday through Friday, 8:00 a.m. to 5:00 p.m. Permitted uses under P-I (17) consist of uses permitted under Chapter 21.42 - *Planned Industrial* of the County’s Zoning Ordinance. The applicant proposes to use the City of Modesto’s parking standards for office and warehouse uses on-site. The total number of parking spaces required for the proposed building under the City of Modesto off-street parking standards will be 16 parking spaces. The applicant proposes to develop a total of 33 parking spaces on-site.

Under this request, a trash enclosure is proposed within the middle of the parking lot on-site and full road frontage improvements consisting of curb, gutter, and sidewalk are proposed. Lighting for the parcel will consist of two 22-foot-tall light poles and lighting fixtures on the exterior wall of each unit. Signage consisting of one multi-tenant monument sign approximately 5± foot-wide x 4.8± foot-tall at the front of the parcel, and individual business wall signage (designs to be determined under a separate permit) above each unit are proposed for the development and will require individual building permits for review and approval prior to placement. The applicant also proposes to install approximately 8,423± square feet of landscaping within the parking lot and along the perimeter of the parcel which will consist of trees and shrubs. A seven-foot-tall tubular steel (similar in appearance to wrought iron) fence and a vehicle access gate are proposed along the front of the parcel and will connect to an existing chain link fence that is currently on the rear and sides of the parcel.

The project is located within the Local Agency Formation Commission (LAFCO) adopted Sphere of Influence of the City of Modesto, and will have access to Glass Court, a County-maintained roadway. The project site will be served by a private septic system, and water from the City of Modesto.

Full document with attachments available for viewing at:
<http://www.stancounty.com/planning/pl/act-projects.shtm>



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

1010 10TH Street, Suite 3400, Modesto, CA 95354
 Planning Phone: (209) 525-6330 Fax: (209) 525-5911
 Building Phone: (209) 525-6557 Fax: (209) 525-7759

STAFF APPROVAL APPLICATION NO. PLN2024-0046 – GLASS COURT WAREHOUSE

Attachment A

Distribution List

	CA DEPT OF CONSERVATION Land Resources / Mine Reclamation		STAN CO ALUC
	CA DEPT OF FISH & WILDLIFE		STAN CO ANIMAL SERVICES
	CA DEPT OF FORESTRY (CAL FIRE)	X	STAN CO BUILDING PERMITS DIVISION
	CA DEPT OF TRANSPORTATION DIST 10		STAN CO CEO
	CA OPR STATE CLEARINGHOUSE		STAN CO CSA
	CA RWQCB CENTRAL VALLEY REGION	X	STAN CO DER
	CA STATE LANDS COMMISSION		STAN CO ERC
	CEMETERY DISTRICT		STAN CO FARM BUREAU
	CENTRAL VALLEY FLOOD PROTECTION	X	STAN CO HAZARDOUS MATERIALS
X	CITY OF: MODESTO		STAN CO PARKS & RECREATION
	COMMUNITY SERVICES DIST: KEYES	X	STAN CO PUBLIC WORKS
	COOPERATIVE EXTENSION		STAN CO PUBLIC WORKS - SURVEY
	COUNTY OF:		STAN CO RISK MANAGEMENT
	DER GROUNDWATER RESOURCES DIVISION		STAN CO SHERIFF
X	FIRE PROTECTION DIST: SALIDA		STAN CO SUPERVISOR DIST 4: GREWAL
	GSA:		STAN COUNTY COUNSEL
	HOSPITAL DIST:		StanCOG
	IRRIGATION DIST: TURLOCK		STANISLAUS FIRE PREVENTION BUREAU
	MOSQUITO DIST: TURLOCK	X	STANISLAUS LAFCO
	STANISLAUS COUNTY EMERGENCY MEDICAL SERVICES		STATE OF CA SWRCB DIVISION OF DRINKING WATER DIST. 10
	MUNICIPAL ADVISORY COUNCIL: KEYES		SURROUNDING LAND OWNERS
	PACIFIC GAS & ELECTRIC		INTERESTED PARTIES
	POSTMASTER:		TELEPHONE COMPANY: AT&T
	RAILROAD: UNION PACIFIC		TRIBAL CONTACTS (CA Government Code §65352.3)
	SAN JOAQUIN VALLEY APCD		US ARMY CORPS OF ENGINEERS
	SCHOOL DIST 1: KEYES UNION		US FISH & WILDLIFE
	SCHOOL DIST 2: TURLOCK UNIFIED		US MILITARY (SB 1462) (7 agencies)
	WORKFORCE DEVELOPMENT		USDA NRCS
	STAN CO AG COMMISSIONER		WATER DIST:
	TUOLUMNE RIVER TRUST		

**STANISLAUS COUNTY
CEQA REFERRAL RESPONSE FORM**

TO: Stanislaus County Planning & Community Development
1010 10th Street, Suite 3400
Modesto, CA 95354

FROM: _____

SUBJECT: STAFF APPROVAL APPLICATION NO. PLN2024-0046 – GLASS COURT WAREHOUSE

Based on this agency's particular field(s) of expertise, it is our position the above described project:

- Will not have a significant effect on the environment.
- May have a significant effect on the environment.
- No Comments.

Listed below are specific impacts which support our determination (e.g., traffic general, carrying capacity, soil types, air quality, etc.) – (attach additional sheet if necessary)

- 1.
- 2.
- 3.
- 4.

Listed below are possible mitigation measures for the above-listed impacts: *PLEASE BE SURE TO INCLUDE WHEN THE MITIGATION OR CONDITION NEEDS TO BE IMPLEMENTED (PRIOR TO RECORDING A MAP, PRIOR TO ISSUANCE OF A BUILDING PERMIT, ETC.):*

- 1.
- 2.
- 3.
- 4.

In addition, our agency has the following comments (attach additional sheets if necessary).

Response prepared by:

Name Title Date

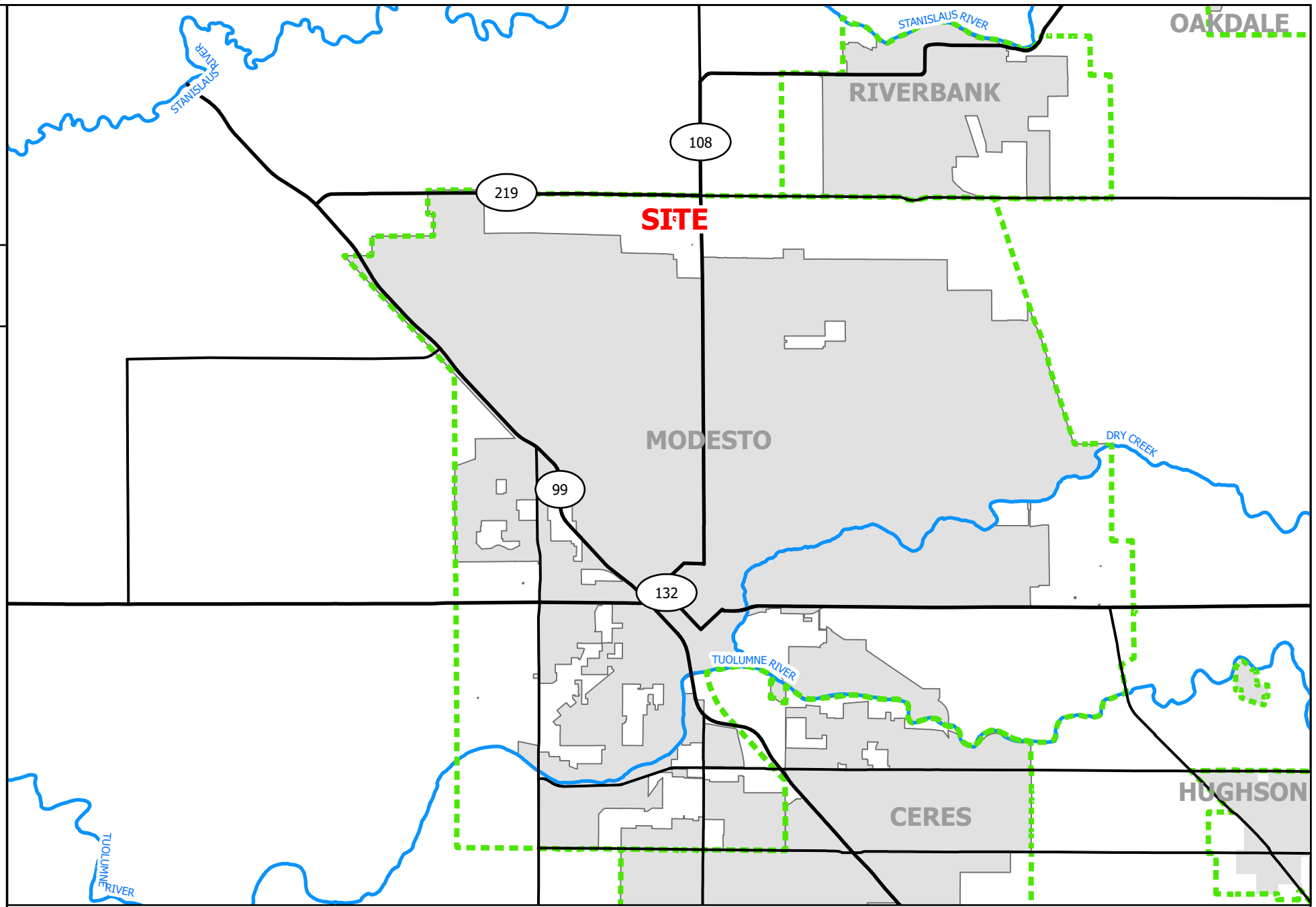
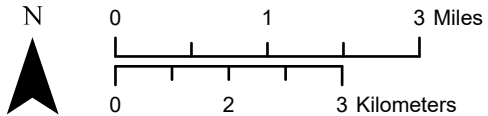
Glass Court Warehouse

SAA PLN2024-0046

AREA MAP

LEGEND

- Highway
- Major Road
- Project Site
- Sphere of Influence
- River














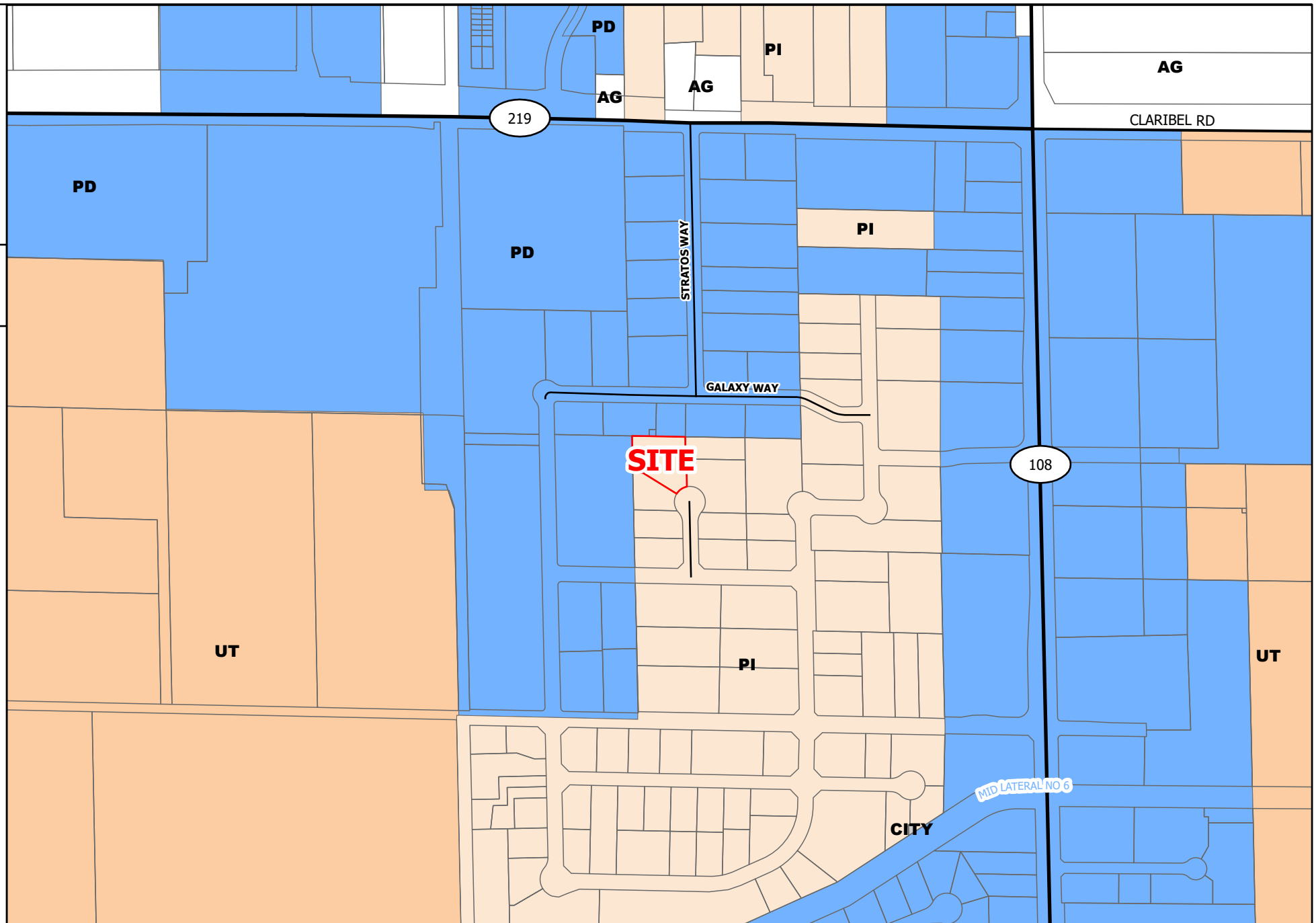
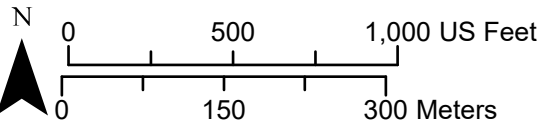
GLASS COURT WAREHOUSE

SAA PLN2024-0046

GENERAL PLAN MAP

LEGEND

-  Project Site
-  Parcel
-  Highway
-  Major Road
-  Canal
-  Agriculture
-  City
-  Planned Development
-  Planned Industrial
-  Urban Transition
-  Street












Glass Court Warehouse

SAA PLN2024-0046

ZONING

LEGEND

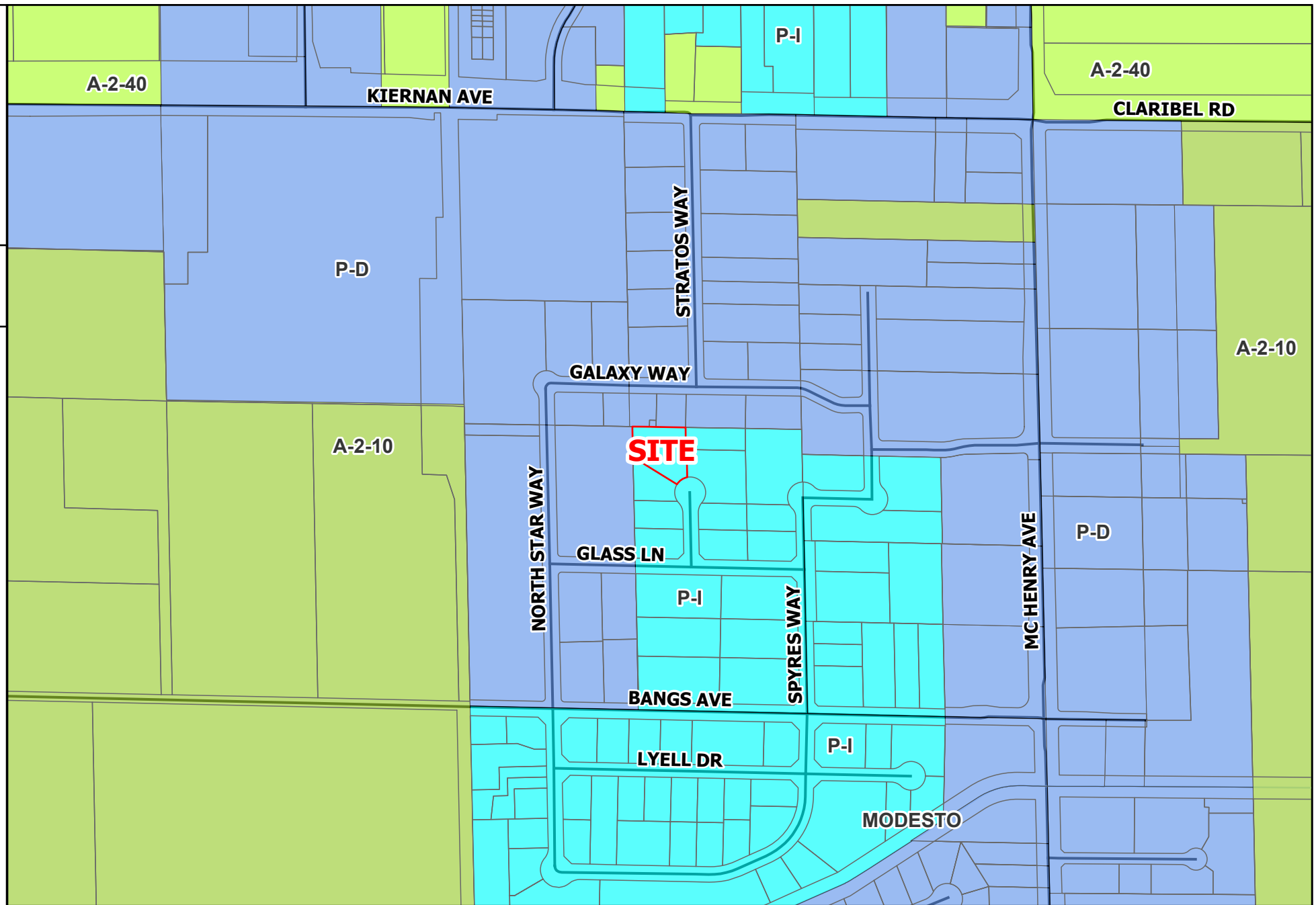
-  Project Site
-  Parcel
-  General Agriculture 10 Acre
-  General Agriculture 40 Acre
-  City
-  Planned Development
-  Planned Industrial
-  Canal
-  Street

N



0 490 980 Feet

0 125 250 Meters









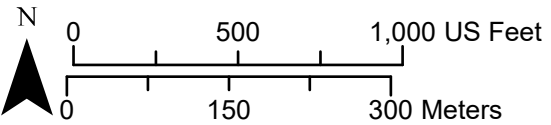
GLASS COURT WAREHOUSE

**SAA
PLN2024-0046**

2023 AERIAL AREA MAP

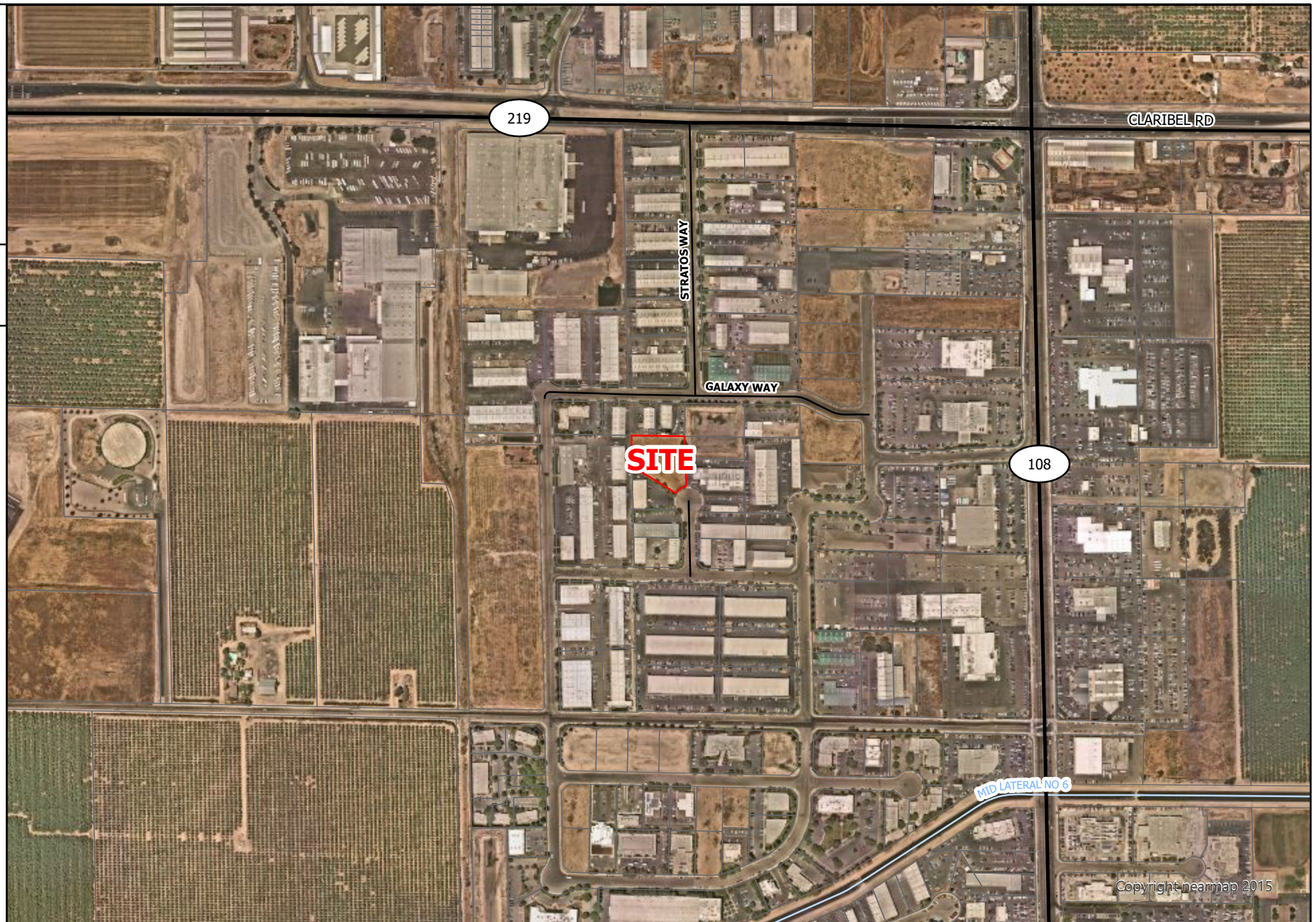
LEGEND

-  Project Site
-  Parcel
-  Highway
-  Major Road
-  Canal
-  Street



Source: Planning Department GIS

Date Exported: 6/5/2024





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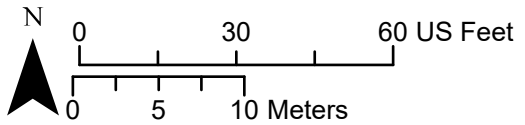
GLASS COURT WAREHOUSE

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PLN2024-0046

2023 AERIAL SITE MAP

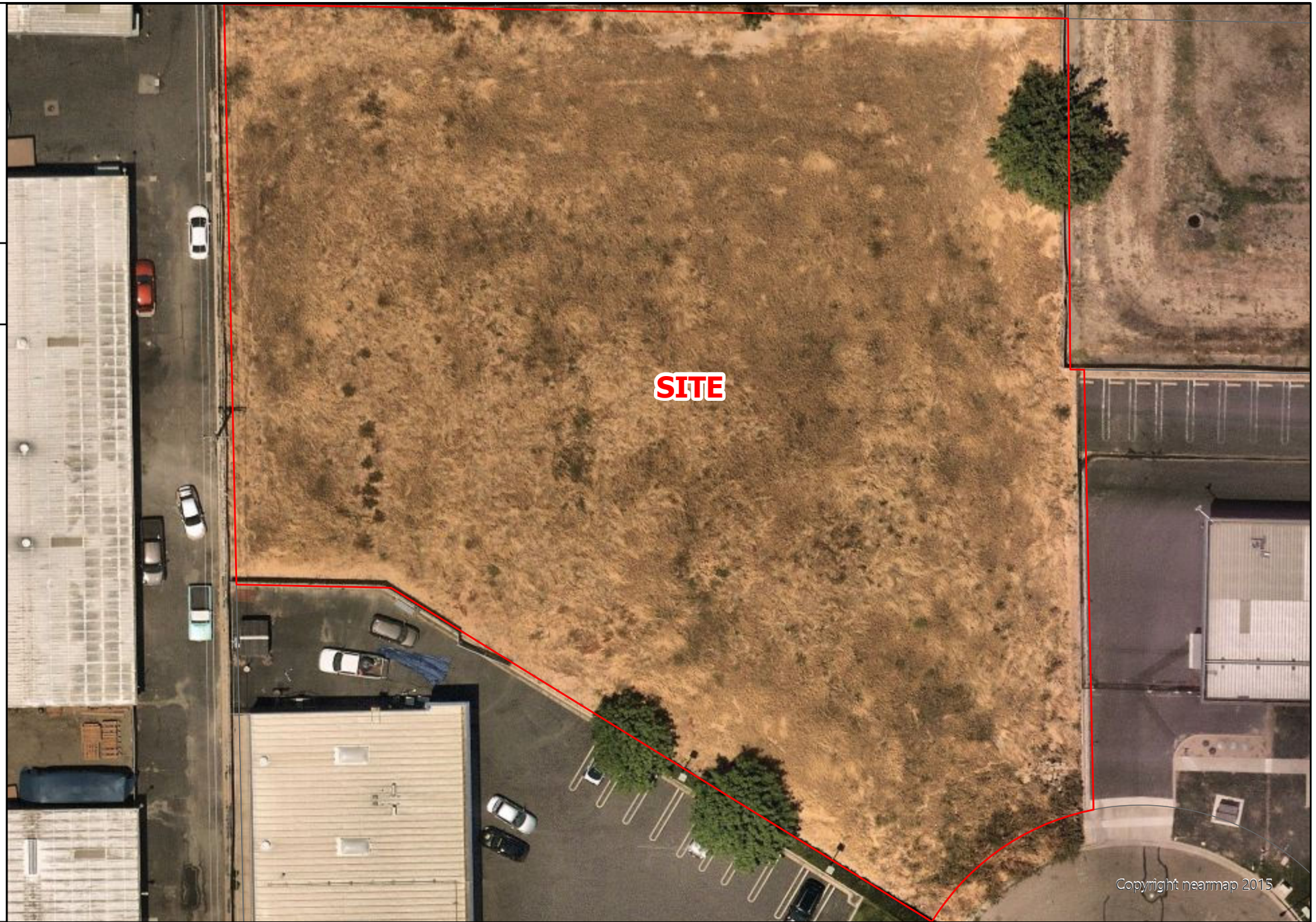
LEGEND

-  Project Site
-  Parcel



Source: Planning Department GIS

Date Exported: 6/5/2024










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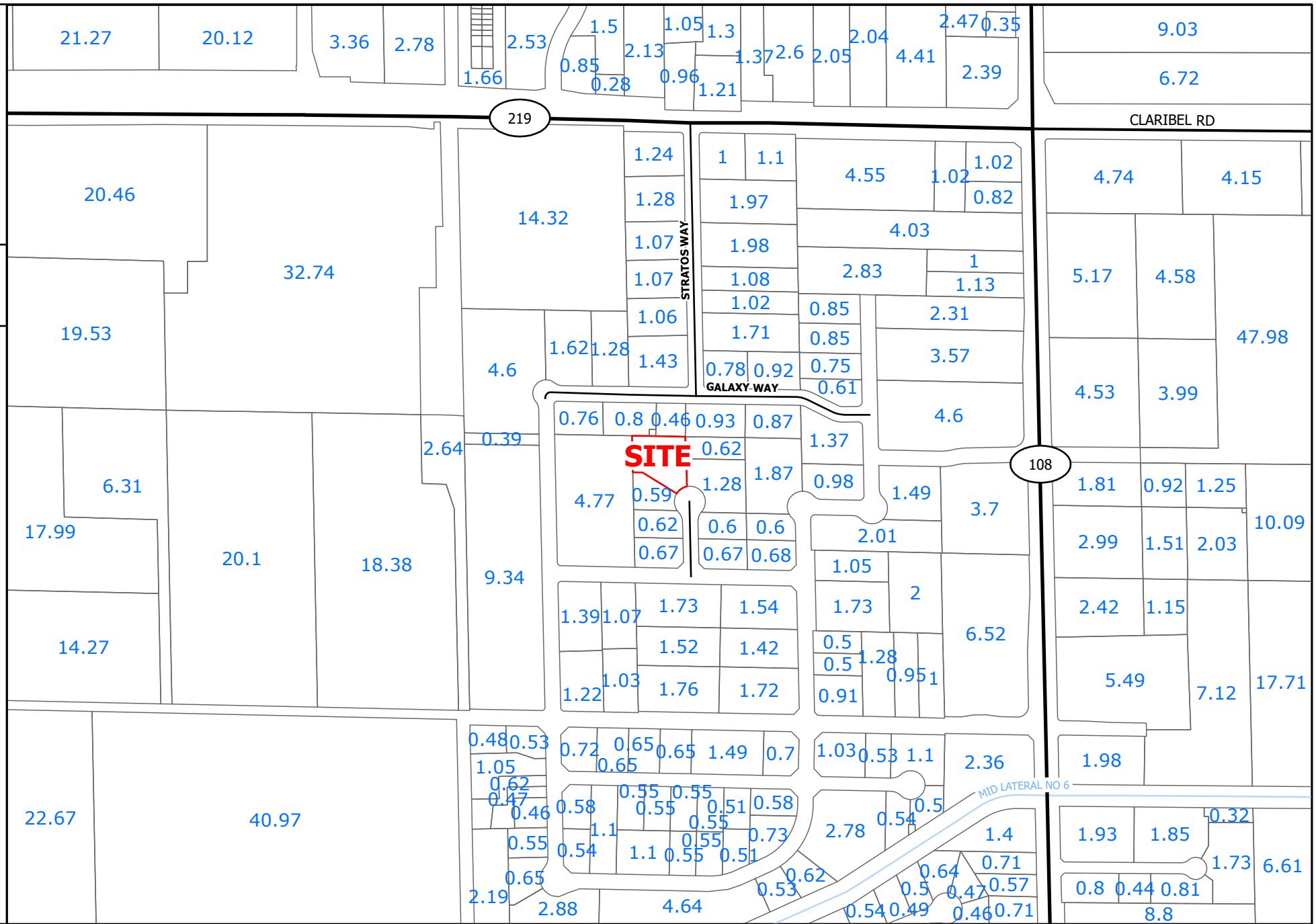
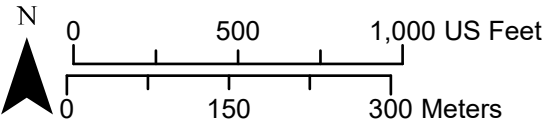
GLASS COURT WAREHOUSE

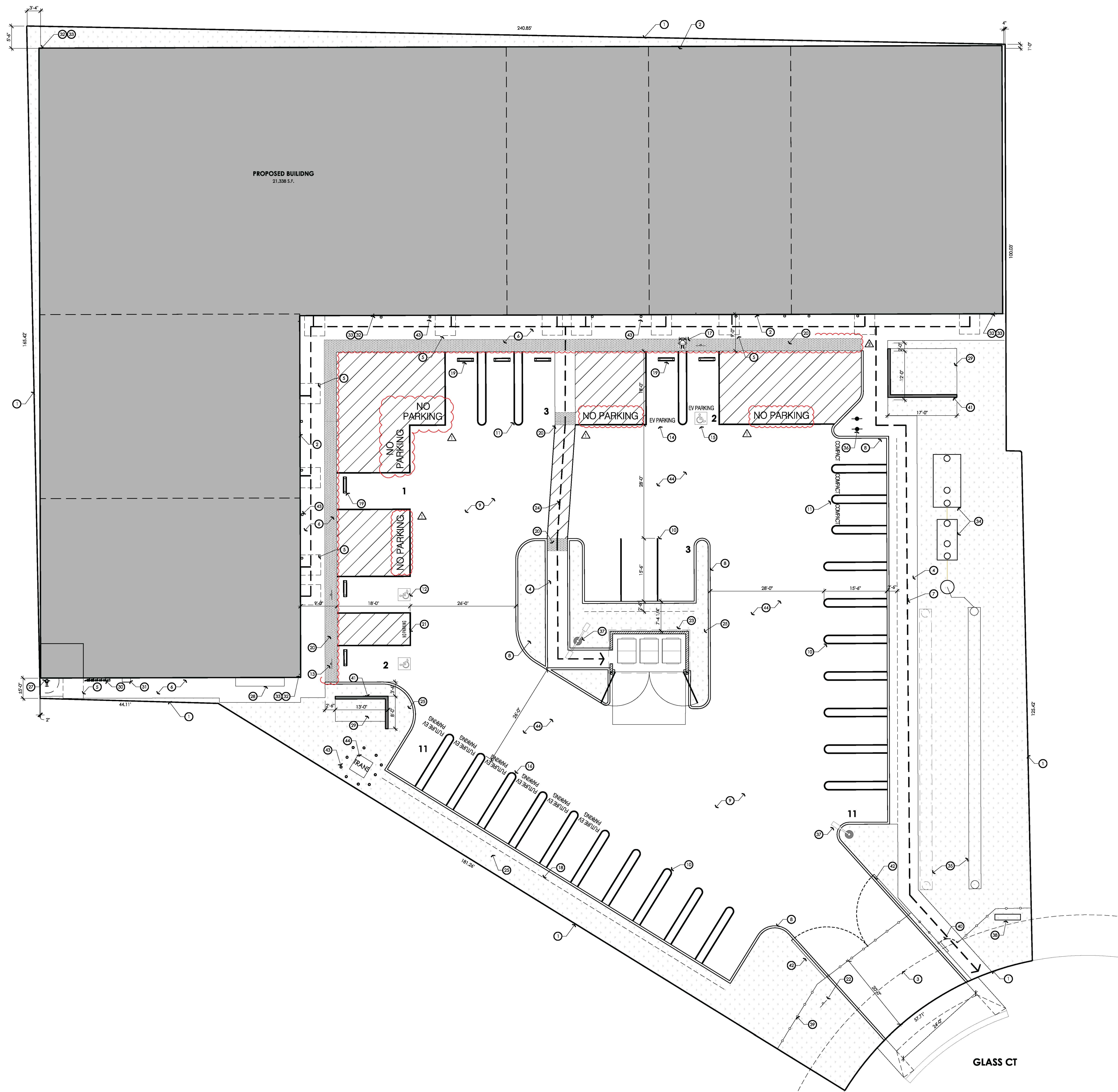
SAA PLN2024-0046

ACREAGE MAP

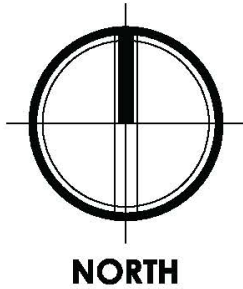
LEGEND

-  Project Site
-  Parcel
-  Acres
-  Highway
-  Major Road
-  Canal
-  Street





1 SITE PLAN
SCALE: 1" = 10'-0"



SITE PLAN KEYNOTES:

1. PROPERTY LINE - TYPICAL
2. OUTLINE OF PROPOSED BUILDING
3. 10'-0" P.U.E.
4. 4" THICK CONCRETE WALK - MINIMUM 48" WIDE - AT WALKS ADJACENT TO PARKING STALLS 48" CLEAR WIDTH SHALL BE FROM FRONT OF VEHICLE OVERHANG - SEE CIVIL DRAWINGS AND LANDSCAPE
5. MINIMUM 60" X 60" CLEAR LEVEL LANDING AT EXTERIOR DOORS - TYPICAL
6. FINISHED GRADES SHALL SLOPE AWAY FROM THE BUILDING FOUNDATIONS 5% MAXIMUM FOR A MINIMUM DISTANCE OF 10'-0" (SLOPE 2% AT IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING FOUNDATION) - SEE CIVIL DRAWINGS
7. ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY - DIRECTION OF TRAVEL SLOPE SHALL NOT EXCEED 1:20 AND CROSS SLOPE SHALL NOT EXCEED 2% - THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/4" ALONG THE ENTIRE PATH FROM PUBLIC WAY INTO BUILDING
8. CONCRETE CURB - TYPICAL - SEE CIVIL DRAWINGS
9. [AC] PAVING - SEE CIVIL DRAWINGS
10. TYPICAL STANDARD CAR STALL (9'-0" X 18'-0") - STRIPE PER STANISLAUS COUNTY STANDARDS - SEE CIVIL DRAWINGS
11. TYPICAL COMPACT CAR STALL (7'-6" X 15'-0") - STRIPE PER STANISLAUS COUNTY STANDARDS - SEE CIVIL DRAWINGS
12. VAN ACCESSIBLE PARKING STALL WITH 8'-0" ACCESS AISLE, DETECTABLE WARNING STRIP, SIGNAL PAINTED ACCESSIBILITY SYMBOLS - VAN ACCESSIBLE STALL TO BE LOCATED SO AS THE ACCESS AISLE IS LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE - SEE DETAIL 1/AD1 AND CIVIL DRAWINGS
13. PERMANENT POSTED REFLECTORIZED IDENTIFICATION SIGN AT EACH ACCESSIBLE PARKING SPACE, 70 SQUARE INCHES IN AREA, MOUNTED 5' ABOVE PAVING, PROVIDE A "VAN ACCESSIBLE" SIGN AT APPROPRIATE SPACES - TYPICAL - SEE CIVIL DRAWINGS
14. TYPICAL ELECTRIC VEHICLE STALL (9'-0" X 18'-0")
15. VAN ACCESSIBLE ELECTRICAL VEHICLE CHARGING STALL
16. LOCATION OF FUTURE ELECTRICAL VEHICLE CHARGING STALL - SEE ELECTRICAL DRAWINGS
17. STUB CONDUIT FOR ELECTRICAL VEHICLE CHARGER - SEE ELECTRICAL DRAWINGS
18. LINE OF [2'-0"] VEHICLE OVERHANG - TYPICAL
19. 4" CONCRETE WHEEL STOP - SEE CIVIL DRAWINGS
20. 36" DEEP (DIRECTION OF TRAVEL) DETECTABLE WARNING STRIP WHERE WALKWAY ADJOINS A VEHICULAR WAY WITH DURABLE, SURF-RESISTANT MATERIAL HAVING A SURFACE TEXTURE COMPOSED OF TRUNCATED DOMES - SEE DETAIL 2/AD1 AND CIVIL DRAWINGS
21. *NO PARKING TO BE PAINTED IN 12" HIGH LETTERS AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS - PER C.B.C. 11B - 802.3.3
22. PARKING LOT SIGNAGE STATING "PARKING ALLOWED IN DESIGNATED PARKING SPACES ONLY" - ALL NON-COMPATIBLE VEHICLES SHALL BE TOWED AWAY AT OWNERS EXPENSE - THE SIGN MUST ALSO PROVIDE INFORMATION ON RECOVERING TOWED VEHICLES - SEE DETAIL 6/AD1 AND CIVIL DRAWINGS
23. TRASH ENCLOSURE - SEE DETAIL 18/AD1
24. ACCESSIBLE PATH TO TRASH ENCLOSURE - MINIMUM 4'-0" WIDE - PROVIDE RAMPS AS NECESSARY - DIRECTION OF TRAVEL SLOPE SHALL NOT EXCEED 1:20 AND CROSS SLOPE SHALL NOT EXCEED 2%
25. LANDSCAPING - SEE LANDSCAPE DRAWINGS
26. MINIMUM 24"-0" WIDE VEHICLE DRIVE AISLE
27. FIRE SPRINKLER RISER - SEE PLUMBING DRAWINGS
28. LOCATION OF ELECTRICAL MAIN SERVICE - SEE ELECTRICAL DRAWINGS
29. INDICATES LOCATION OF FUTURE MECHANICAL EQUIPMENT, PROVIDE CONDUIT STUBS AS REQUIRED - SEE MECHANICAL DRAWINGS
30. PROPOSED GAS METER LOCATIONS - VERIFY WITH SERVING UTILITY COMPANY - SEE PLUMBING DRAWINGS
31. LOCATION OF IRRIGATION CONTROL PANEL - SEE LANDSCAPE DRAWINGS
32. ROOF DRAIN - DAYLIGHT THROUGH WALL 6" ABOVE FINISH GRADE - SEE ROOF PLAN AND PLUMBING DRAWINGS
33. COORDINATE ROOF DRAIN DISCHARGE WITH CIVIL DRAWINGS
34. SEPTIC TANK AND JET SEPTIC SYSTEM - SEE CIVIL DRAWINGS
35. INDICATES LOCATION OF LEACH FIELD AND FUTURE EXPANSION - SEE CIVIL DRAWINGS
36. BICYCLE RACK - SEE LANDSCAPE DRAWINGS
37. LIGHT STANDARD - SEE ELECTRICAL DRAWINGS
38. APPROXIMATE LOCATION OF MONUMENT SIGN - PROVIDE ELECTRICAL CONDUIT - SEE DETAIL 24/AD1
39. DECORATIVE METAL SECURITY FENCE - SEE LANDSCAPE DRAWINGS
40. MAN GATE - PROVIDE 24" CLEAR AT STRIKE SIDE - GATE SHALL NOT REQUIRE USE OF A KEY TO OPERATE FOR PERSONS EXITING THE SITE - SEE LANDSCAPE DRAWINGS
41. 4'-0" HIGH CMU WALL - SEE CIVIL DRAWINGS
42. PAIR OF 12" WIDE METAL SWING GATES - INSTALL PER MANUFACTURER'S SPECIFICATIONS - MANUALLY OPERATED WITH WHEEL AS REQUIRED - BRACED AND TRUSSED AS NECESSARY - SEE LANDSCAPE DRAWINGS
43. 6" DIAMETER PIPE BOLLARD - SEE DETAIL 4/AD1
44. ELECTRICAL TRANSFORMER - SEE ELECTRICAL DRAWINGS

NOTE:

- COORDINATE ALL SITE CONSTRUCTION WITH APPROVED CIVIL AND LANDSCAPE DRAWINGS. FIELD VERIFY ALL CONDITIONS.
- NOTE:**
1. PROVIDE APPROVED STREET ADDRESS / SUITE NUMBER POSITIONED SUCH AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. NUMBERS SHALL CONTRAST WITH BACKGROUND WITH A MINIMUM 4" HIGH CHARACTER WITH 1/2" STROKE RECOMMENDED. (PER C.F.C. 506.1)
 2. ALL EXTERIOR LIGHTS SHALL BE SHIELDED AWAY FROM ADJACENT RESIDENTIAL PROPERTIES.
 3. EMERGENCY ACCESS ROADWAYS SHALL BE MARKED IN RED AND STENCILED WITH WHITE LETTERING. "NO PARKING - FIRE LANE" EVERY 25 FEET
 4. PROVIDE A KNOX BOX AT THE FRONT ENTRY OF THE BUILDING - VERIFY THE LOCATION WITH THE FIRE DEPARTMENT PRIOR TO EXTERIOR FINISH WORK.
 5. ALL ABOVE GROUND GAS METER, REGULATORS, AND PIPING, EXPOSED TO VEHICULAR DAMAGE SHALL BE PROTECTED IN AN APPROVED MANNER.
 6. ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL:
 - A. BE CONTINUOUSLY ACCESSIBLE
 - B. HAVE A MAXIMUM 1/2" CHANGE IN ELEVATION, OR PROVIDE CURB RAMPS PER C.B.C. 11B-406
 - C. BE A 48" WIDE MINIMUM
 - D. WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (1:20), A PEDESTRIAN RAMP SHALL BE PROVIDED IN COMPLIANCE WITH C.B.C. SECTION 11B-405

REVISIONS

PLANCHHECK #1	- 03/04/24
OWNER REVISION	- 03/08/24
PLANCHHECK #2	- 04/25/24

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PLANNING ARCHITECTURE

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JOSEPH L. SMITH
RODNEY C. ALONZO
ARCHITECTS

CA

GLASS CT WAREHOUSE
4621 GLASS CT

MODESTO



DATE:	JUNE 2023
JOB NO.:	23006
DRAWN:	R. HUTCHINSON
CHECKED:	J. SMITH
SHEET:	

A1.0

REVISIONS
 Δ PLAN-CHECK #1 - 03/04/24
 Δ OWNER REVISION - 03/08/24
 Δ PLAN-CHECK #2 - 04/25/24

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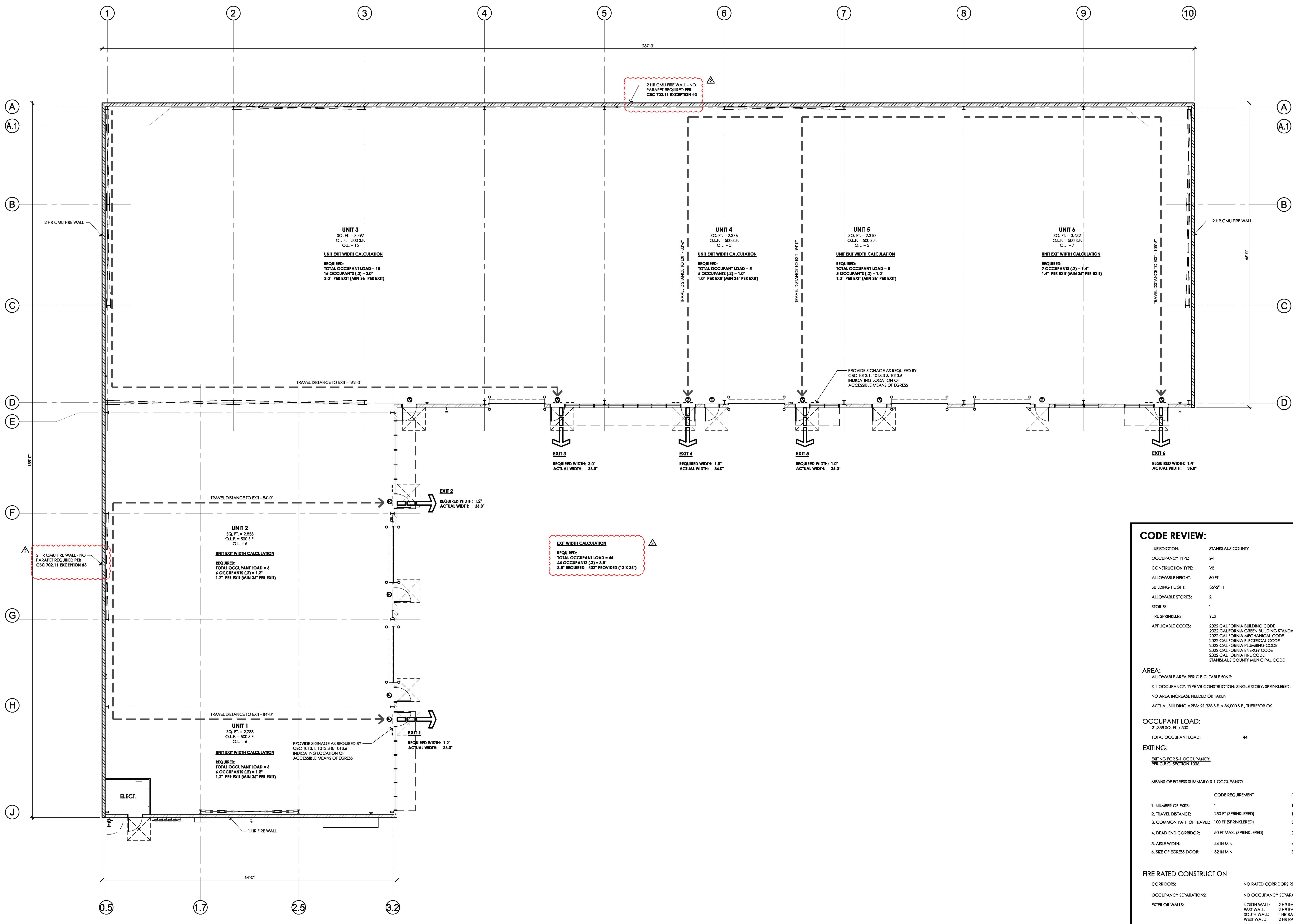
CA
GLASS CT WAREHOUSE
 4621 GLASS CT
 MODESTO

CODE ANALYSIS



DATE: JUNE 2023
 JOB NO.: 23006
 DRAWN: R. HUTCHINSON
 CHECKED: J. SMITH
 SHEET:

A2.0



1 CODE ANALYSIS
 SCALE: 1/8" = 1'-0"

EXIT WIDTH CALCULATION
 REQUIRED: TOTAL OCCUPANT LOAD = 44
 44 OCCUPANTS (2) = 8.8'
 8.8' REQUIRED - 432" PROVIDED (12 X 36")

EXIT 1
 REQUIRED WIDTH: 1.2'
 ACTUAL WIDTH: 36.0"

EXIT 2
 REQUIRED WIDTH: 1.2'
 ACTUAL WIDTH: 36.0"

EXIT 3
 REQUIRED WIDTH: 3.0'
 ACTUAL WIDTH: 36.0"

EXIT 4
 REQUIRED WIDTH: 1.0'
 ACTUAL WIDTH: 36.0"

EXIT 5
 REQUIRED WIDTH: 1.0'
 ACTUAL WIDTH: 36.0"

EXIT 6
 REQUIRED WIDTH: 1.4'
 ACTUAL WIDTH: 36.0"

UNIT 1
 SQ. FT. = 2,783
 O.L.F. = 500 S.F.
 O.L. = 6
 REQUIRED: TOTAL OCCUPANT LOAD = 4
 4 OCCUPANTS (2) = 1.2'
 1.2' PER EXIT (MIN 36" PER EXIT)

UNIT 2
 SQ. FT. = 2,853
 O.L.F. = 500 S.F.
 O.L. = 6
 REQUIRED: TOTAL OCCUPANT LOAD = 4
 4 OCCUPANTS (2) = 1.2'
 1.2' PER EXIT (MIN 36" PER EXIT)

UNIT 3
 SQ. FT. = 3,497
 O.L.F. = 500 S.F.
 O.L. = 7
 REQUIRED: TOTAL OCCUPANT LOAD = 7
 16 OCCUPANTS (2) = 3.0'
 3.0' PER EXIT (MIN 36" PER EXIT)

UNIT 4
 SQ. FT. = 2,576
 O.L.F. = 500 S.F.
 O.L. = 5
 REQUIRED: TOTAL OCCUPANT LOAD = 5
 8 OCCUPANTS (2) = 1.0'
 1.0' PER EXIT (MIN 36" PER EXIT)

UNIT 5
 SQ. FT. = 2,310
 O.L.F. = 500 S.F.
 O.L. = 5
 REQUIRED: TOTAL OCCUPANT LOAD = 5
 8 OCCUPANTS (2) = 1.0'
 1.0' PER EXIT (MIN 36" PER EXIT)

UNIT 6
 SQ. FT. = 3,432
 O.L.F. = 500 S.F.
 O.L. = 7
 REQUIRED: TOTAL OCCUPANT LOAD = 7
 16 OCCUPANTS (2) = 3.0'
 3.0' PER EXIT (MIN 36" PER EXIT)

CODE REVIEW:

JURISDICTION: STANISLAUS COUNTY
 OCCUPANCY TYPE: S-1
 CONSTRUCTION TYPE: VB
 ALLOWABLE HEIGHT: 60 FT
 BUILDING HEIGHT: 35'-2" FT
 ALLOWABLE STORIES: 2
 STORIES: 1
 FIRE SPRINKLERS: YES
 APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 STANISLAUS COUNTY MUNICIPAL CODE

AREA:
 ALLOWABLE AREA PER C.B.C. TABLE 506.2:
 S-1 OCCUPANCY, TYPE VB CONSTRUCTION: SINGLE STORY, SPRINKLERED: 36,000 S.F.
 NO AREA INCREASE NEEDED OR TAKEN
 ACTUAL BUILDING AREA: 21,338 S.F. < 36,000 S.F., THEREFOR OK

OCCUPANT LOAD:
 21,338 SQ. FT. / 500
 TOTAL OCCUPANT LOAD: 44

EXITING:
 EXITING FOR S-1 OCCUPANCY:
 PER C.B.C. SECTION 1008

MEANS OF EGRESS SUMMARY: S-1 OCCUPANCY

	CODE REQUIREMENT	PROVIDED	OK
1. NUMBER OF EXITS:	1	12	OK
2. TRAVEL DISTANCE:	250 FT (SPRINKLERED)	128 FT MAX.	OK
3. COMMON PATH OF TRAVEL:	100 FT (SPRINKLERED)	0 FT MAX.	OK
4. DEAD END CORRIDOR:	50 FT MAX. (SPRINKLERED)	0 FT MAX.	OK
5. AISLE WIDTH:	44 IN MIN.	44 IN	OK
6. SIZE OF EGRESS DOOR:	32 IN MIN.	36 IN	OK

FIRE RATED CONSTRUCTION

CORRIDORS: NO RATED CORRIDORS REQUIRED
 OCCUPANCY SEPARATIONS: NO OCCUPANCY SEPARATIONS REQUIRED

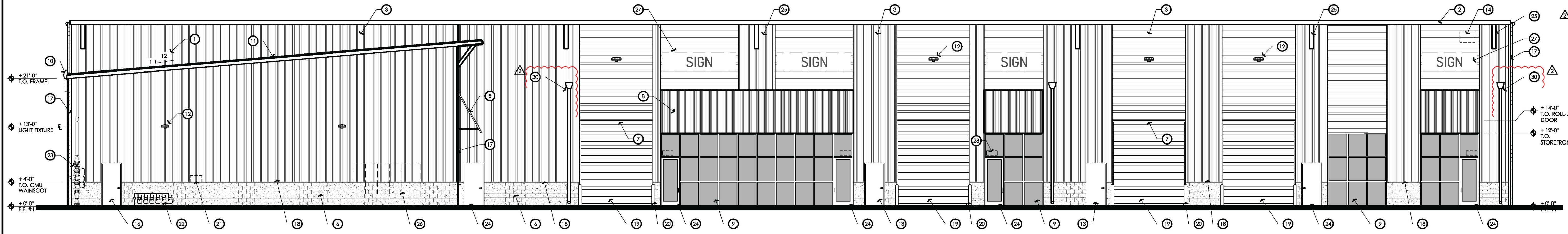
EXTERIOR WALLS:
 NORTH WALL: 2 HR RATED PER C.B.C. TABLE 705.5
 EAST WALL: 2 HR RATED PER C.B.C. TABLE 705.5
 SOUTH WALL: 1 HR RATED PER C.B.C. TABLE 705.5
 WEST WALL: 2 HR RATED PER C.B.C. TABLE 705.5

OPENINGS IN EXTERIOR WALLS:
 NORTH WALL: NOT PERMITTED PER C.B.C. TABLE 705.8
 EAST WALL: NOT PERMITTED PER C.B.C. TABLE 705.8
 SOUTH WALL: 20% PER C.B.C. TABLE 705.8
 WEST WALL: NOT PERMITTED PER C.B.C. TABLE 705.8

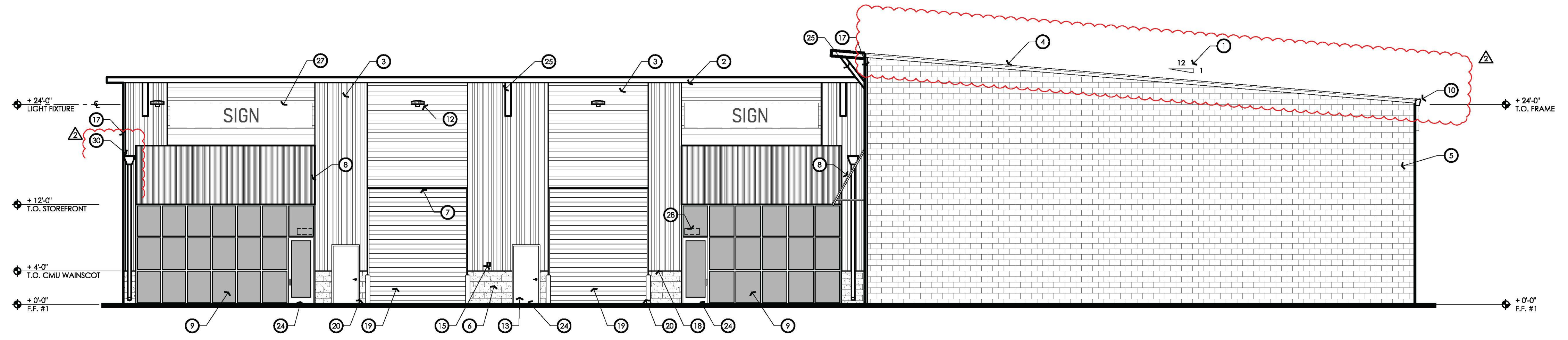
INTERIOR WALLS:
 NO INTERIOR RATED WALLS REQUIRED PER C.B.C. TABLE 601

FIRE RESISTANCE FOR BUILDING ELEMENTS AND SEPARATION DISTANCE
 PER C.B.C. TABLE 601

BUILDING ELEMENT	FIRE RATING
EXTERIOR BEARING WALLS	2 HR & 1 HR (WHERE SHOWN - SEE FLOOR PLAN)
INTERIOR BEARING WALLS	0 HR
INTERIOR NON-BEARING WALLS	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
SEPARATION DISTANCE	OCCUPANCY: FIRE RATING:
N/A	N/A N/A



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

- EXTERIOR ELEVATION KEYNOTES:**
- ROOF SLOPE AS INDICATED
 - PAINTED CONTINUOUS GALVANIZED SHEET METAL FASCIA - MAINTAIN CONSTANT FASCIA DIMENSION SHOWN AT FRONT, SIDE, AND REAR - SEE METAL BUILDING DRAWINGS
 - METAL WALL PANELS - PROVIDE ALL METAL CLOSURES AND TRIMS AS REQUIRED
 - RAKE TRIM - SEE METAL BUILDING DRAWINGS AND DETAILS 17/AD2
 - PRECISION FACE CMU - TYPICAL
 - SPLIT FACE CMU WAINSCOT AT 4'-0" HIGH - TYPICAL
 - DRIP EDGE FLASHING AT BOTTOM OF PANELS - SEE METAL BUILDING DRAWINGS
 - MANUFACTURED AWNING WITH STANDING SEAM METAL ROOF - DETAIL 8/AD2
 - ALUMINUM STOREFRONT SYSTEM - INSTALL PER MANUFACTURER'S SPECIFICATIONS - PROVIDE ALL FLASHING, SEALANT, ETC FOR A COMPLETE AND WATER-TIGHT SYSTEM - SEE FLOOR PLAN AND DOOR AND STOREFRONT SCHEDULES
 - CONTINUOUS EAVE GUTTER - SEE ROOF PLAN AND METAL BUILDING DRAWINGS AND DETAIL 2/AD2
 - CONTINUOUS FLASHING / COUNTERFLASHING AT ALL ROOF / WALL INTERSECTIONS - SEE METAL BUILDING DRAWINGS AND DETAIL 3/AD2
 - EXTERIOR LIGHT FIXTURE - BOTTOM OF FIXTURE TO BE MINIMUM 4'-0" ABOVE WALKING SURFACES - SHIELD ALL EXTERIOR FIXTURES FROM ADJACENT RESIDENTIAL PROPERTIES - SEE ELECTRICAL DRAWINGS
 - EXTERIOR DOOR AND FRAME - PAINT - SEE DOOR SCHEDULE
 - PROVIDE APPROVED STREET ADDRESS SIGNAGE ON BUILDING TO BE POSITIONED SUCH AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CFC 894. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. BE NORMALLY OR EXTERNALLY ILLUMINATED - 12" IN HEIGHT WITH A MIN. 1" STROKE ON BUILDINGS PER CITY OF PATTERSON FIRE DEPARTMENT - VERIFY LOCATION WITH OWNER - SEE ELECTRICAL DRAWINGS
 - PROVIDE KNOX BOX FOR FIRE DEPARTMENT USE - SEE NOTES ON COVER SHEET
 - PROVIDE SIGN ON DOOR INDICATING ELECTRICAL MAIN SWITCH GEAR INSIDE AREA
 - METAL PANEL TRIM - SEE METAL BUILDING DRAWINGS AND DETAILS 6 & 7/AD2
 - BASE FLASHING / PANEL CLOSURE - TYPICAL - SEE METAL BUILDING DRAWINGS
 - ROLLING DOOR - SEE DOOR SCHEDULES AND DETAILS 21 & 22/AD2
 - 4" DIAMETER CONCRETE FILLED STEEL PIPE ROLLARD - SEE DETAIL 4/AD1
 - INDICATES IRRIGATION CONTROLLER - SEE LANDSCAPE DRAWINGS
 - INDICATES GAS METERS - SEE PLUMBING DRAWINGS
 - FIRE SPRINKLER RISER - COORDINATE WITH FIRE SPRINKLER DRAWINGS
 - CONTRACTOR TO SITE VERIFY ALL STEPS TO GRADE
 - DECORATIVE METAL BRACKET - SEE METAL BUILDING DRAWINGS
 - LOCATION OF MAIN ELECTRICAL SERVICE PANEL - SEE ELECTRICAL DRAWINGS
 - ALL PROPOSED PERMANENT SIGNAGE UNDER SEPARATE PERMIT IN COMPLIANCE WITH MUNICIPAL REGULATIONS. PERMIT APPLICATION IS REQUIRED - PROVIDE BLOCKING AND ELECTRICAL JUNCTION BOX
 - LABEL SUITE NUMBERS ON ENTRY DOOR - DESIGNATIONS TO BE 4" HIGH AND COLOR CONTRASTING WITH BACKGROUND
 - METAL ROOFING PANELS - SEE ROOF PLAN AND METAL BUILDING DRAWINGS
 - LOCATION OF ROOF DRAIN WITH CONDUCTOR AND DOWNSPOUT - SEE DETAIL 24/AD2

NOTE:
SEE SHEET A4.2 FOR EXTERIOR FINISHES, PAINT, AND COLOR SCHEME
***PROVIDE ANTI-GRAFFITI COATING ON ALL CMU LOCATIONS

NOTE:
PROVIDE PERMANENT, DURABLE, AND CLEARLY VISIBLE SIGNAGES FOR MAIN DISCONNECTS AND ELECTRICAL ROOM. ALL ELECTRICAL PANELS, CIRCUIT BREAKERS, MAIN GAS SHUT-OFF, MAIN ELECTRICAL SHUT-OFF, FIRE RISER ROOM, AND FIRE ALARM PANELS ARE TO BE LABELED LEGIBLY - PER CFC 894.A, CFC 894.1, AND CFC 894.1.1

REVISIONS

PLANCHHECK #1	- 03/04/24
OWNER REVISION	- 03/08/24
PLANCHHECK #2	- 04/25/24

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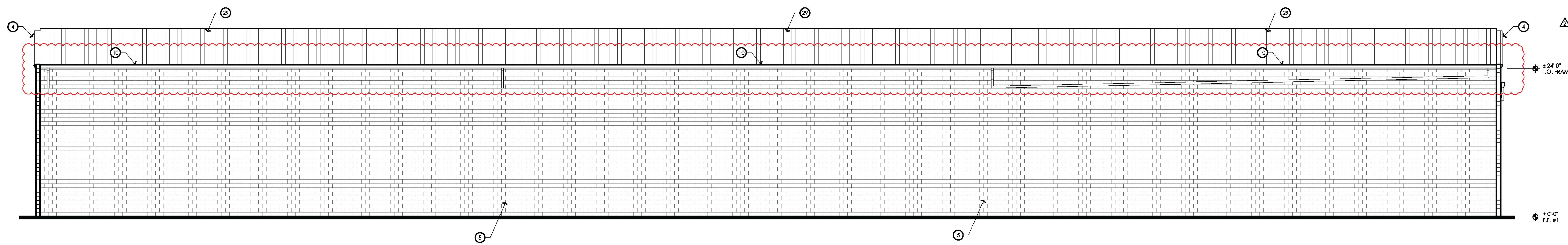
CA
GLASS CT WAREHOUSE
4621 GLASS CT
MODESTO

EXTERIOR ELEVATIONS

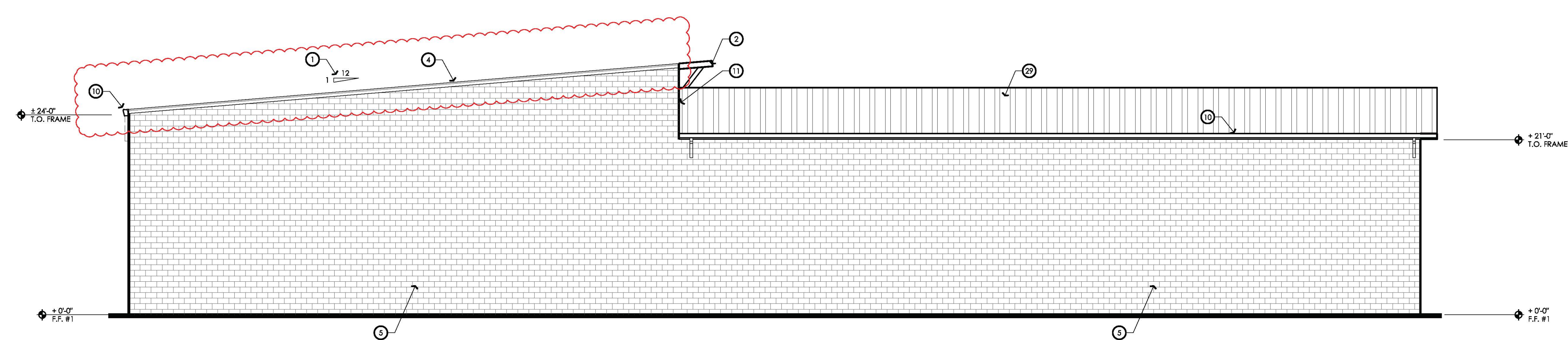


DATE:	JUNE 2023
JOB NO.:	23004
DRAWN:	R. HUTCHINSON
CHECKED:	J. SMITH

A4.0



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

- EXTERIOR ELEVATION KEYNOTES:**
1. ROOF SLOPE AS INDICATED
 2. PAINTED CONTINUOUS GALVANIZED SHEET METAL FASCIA - MAINTAIN CONSTANT FASCIA DIMENSION SHOWN AT FRONT, SIDE, AND REAR - **SEE METAL BUILDING DRAWINGS**
 3. METAL WALL PANELS - PROVIDE ALL METAL CLOSURES AND TRIMS AS REQUIRED
 4. RAKE TRIM - **SEE METAL BUILDING DRAWINGS AND DETAILS 1/AD2**
 5. PRECISION FACE CMU - TYPICAL
 6. SPLIT FACE CMU WAINSCOT AT 4'-0" HIGH - TYPICAL
 7. DRP EDGE FLASHING AT BOTTOM OF PANELS - **SEE METAL BUILDING DRAWINGS**
 8. MANUFACTURED AWNING WITH STANDING SEAM METAL ROOF - **DETAIL 8/AD2**
 9. ALUMINUM STOREFRONT SYSTEM - INSTALL PER MANUFACTURER'S SPECIFICATIONS - PROVIDE ALL FLASHING, SEALANT, ETC FOR A COMPLETE AND WATER-TIGHT SYSTEM - **SEE FLOOR PLAN AND DOOR AND STOREFRONT SCHEDULE**
 10. CONTINUOUS EAVE GUTTER - **SEE ROOF PLAN AND METAL BUILDING DRAWINGS AND DETAIL 2/AD2**
 11. CONTINUOUS FLASHING / COUNTERFLASHING AT ALL ROOF / WALL INTERSECTIONS - **SEE METAL BUILDING DRAWINGS AND DETAIL 3/AD2**
 12. EXTERIOR LIGHT FIXTURE - BOTTOM OF FIXTURE TO BE MINIMUM 4'-0" ABOVE WALKING SURFACES - SHIELD ALL EXTERIOR FIXTURES FROM ADJACENT RESIDENTIAL PROPERTIES - **SEE ELECTRICAL DRAWINGS**
 13. EXTERIOR DOOR AND FRAME - **PAINT - SEE DOOR SCHEDULE**
 14. PROVIDE APPROVED STREET ADDRESS SIGNAGE ON BUILDING TO BE POSITIONED SUCH AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CPC 209 NUMBERS SHALL CONFORM WITH THE BACKGROUND BE NEUTRALLY OR EXTERNALLY ILLUMINATED - 12" IN HEIGHT WITH A MIN. 1" STROKE ON BUILDINGS PER CITY OF PATTERSON FIRE DEPARTMENT - VERIFY LOCATION WITH OWNER - **SEE ELECTRICAL DRAWINGS**
 15. PROVIDE KNOX BOX FOR FIRE DEPARTMENT USE - **SEE NOTES ON COVER SHEET**
 16. PROVIDE SIGN ON DOOR INDICATING ELECTRICAL MAIN SWITCH GEAR INSIDE AREA
 17. METAL PANEL TRIM - **SEE METAL BUILDING DRAWINGS AND DETAILS 6 & 7/AD2**
 18. BASE FLASHING / PANEL CLOSURE - TYPICAL - **SEE METAL BUILDING DRAWINGS**
 19. COILING DOOR - **SEE DOOR SCHEDULE AND DETAILS 21 & 22/AD2**
 20. 4" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD - **SEE DETAIL 4/AD1**
 21. INDICATES IRRIGATION CONTROLLER - **SEE LANDSCAPE DRAWINGS**
 22. INDICATES GAS METERS - **SEE PLUMBING DRAWINGS**
 23. FIRE SPRINKLER RISER - **COORDINATE WITH FIRE SPRINKLER DRAWINGS**
 24. CONTRACTOR TO SITE VERIFY ALL STEPS TO GRADE
 25. DECORATIVE METAL BRACKET - **SEE METAL BUILDING DRAWINGS**
 26. LOCATION OF MAIN ELECTRICAL SERVICE PANEL - **SEE ELECTRICAL DRAWINGS**
 27. ALL PROPOSED EXTERIOR SIGNAGE UNDER SEPARATE PERMIT IN COMPLIANCE WITH MUNICIPAL REGULATIONS (PERMITS APPLICATION IS REQUIRED) - PROVIDE BLOCKING AND ELECTRICAL JUNCTION BOX
 28. LABEL SUITE NUMBERS ON ENTRY DOOR - DESIGNATIONS TO BE 4" HIGH AND COLOR CONTRASTING WITH BACKGROUND
 29. METAL ROOFING PANELS - **SEE ROOF PLAN AND METAL BUILDING DRAWINGS**
 30. LOCATION OF ROOF DRAIN WITH CONDUCTOR AND DOWNSPOUT - **SEE DETAIL 2/AD2**

NOTE:
SEE SHEET A4.2 FOR EXTERIOR FINISHES, PAINT, AND COLOR SCHEME
**PROVIDE ANTI-GRAFFITI COATING ON ALL CMU LOCATIONS

REVISIONS

△	PLAN-CHECK #1 - 03/04/24
△	OWNER REVISION - 03/08/24
△	PLAN-CHECK #2 - 04/25/24

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EXTERIOR ELEVATIONS



DATE:	JUNE 2023
JOB NO.:	23006
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CHECKED:	J. SMITH
SHEET:	

A4.1