

THE BOARD OF SUPERVISORS OF THE COUNTY OF STANISLAUS
ACTION AGENDA SUMMARY

DEPT: Planning and Community Development

BOARD AGENDA # 6:35 p.m.

Urgent Routine

AGENDA DATE May 19, 2009

CEO Concurs with Recommendation YES NO
(Information Attached)

4/5 Vote Required YES NO

SUBJECT:

Public Hearing to Consider Appeal of Planning Commission's Decision of Approval for Use Permit Application No. 2008-10, Turlock Golf Center. A Request to Establish a Golf Driving Range on a 39± Acre Parcel in the A-2-40 (General Agriculture) Zoning District. The Development Will Include a 1,000 Square

(Continued on page 2)

PLANNING COMMISSION AND STAFF RECOMMENDATIONS:

After conducting a public hearing at its regular meeting of March 19, 2009, following a Staff recommendation of denial, the Planning Commission voted 5-1 (Assali) to approve the proposed project.

If the Board decides to approve the appeal and deny the project, the Board should find that the appropriate Use Permit findings, as described on pages 4-6 of the Planning Commission Staff Report, cannot be met.

If the Board decides to deny the appeal and uphold the Planning Commission's decision of approval of the project, the Board should take all actions numbered 1-5 on page 8 of the Planning Commission Staff Report and determine whether the changes to Conditions of Approval 49 and 53 should remain, as approved by the Planning Commission.

FISCAL IMPACT:

There are no fiscal impacts associated with this item.

BOARD ACTION AS FOLLOWS:

No. 2009-346

On motion of Supervisor Chiesa, Seconded by Supervisor Grover
and approved by the following vote,

Ayes: Supervisors: Chiesa, Grover, and Chairman DeMartini

Noes: Supervisors: O'Brien, and Monteith

Excused or Absent: Supervisors: None

Abstaining: Supervisor: None

1) Approved as recommended

2) Denied

3) Approved as amended

4) Other:

MOTION: Conducted the public hearing; approved the appeal of Planning Commission's decision of approval for Use Permit Application #2008-10, Turlock Golf Center and thereby **denied** Use Permit Application #2008-10, a request to establish a golf driving range on a 39± acre parcel in the A-2-40 (General Agriculture) zoning district; and, finds that the appropriate findings, as described on pages 4 through 6 of the Planning Commission Staff Report, cannot be met.



ATTEST: CHRISTINE FERRARO TALLMAN, Clerk

File No.

SUBJECT: (Continued)

Foot Maintenance Building, a 2,000 Square Foot Office / Pro-Shop, and a Covered Tee Area. The Project Site is Located on the North Side of Taylor Road, East of Hwy. 99 and West of Mountain View Road, in the Turlock Area.

DISCUSSION:

This project is a request to establish a golf driving range on a 39± acre parcel in the A-2-40 (General Agriculture) zoning district on Taylor Road, in the Turlock area. The project site will be improved with a 2,000 square foot Pro-Shop, a 1,000 square foot maintenance shed, and a covered tee area. All of the proposed structures will be of a steel building design. The periphery of the site will consist of netting mounted on 30-foot poles to protect the adjacent parcels from golf balls.

County Zoning Ordinance, Section 21.20.030(C)(2)(0), allows golf courses (excluding miniature golf), golf driving ranges and practice putting greens in the General Agricultural Zoning District as Tier Three uses requiring a Use Permit. Tier Three uses are defined as uses which are not directly related to agriculture but may be necessary to serve the A-2 district or may be difficult to locate in an urban area. The following findings must be made in order to grant approval of a Tier Three Use Permit:

1. The use as proposed will not be substantially detrimental to or in conflict with agricultural use of other property in the vicinity; and
2. The parcel on which such use is requested is not located in one of the County's "most productive agricultural areas" as that term is used in the Agricultural element of the General Plan; **OR** the character of the use that is requested is such that the land may reasonably be returned to agricultural use in the future.

The Planning Commission held a public hearing on this project at its regular meeting of March 19, 2009. As discussed in the attached Planning Commission Staff Report, staff does not believe that the necessary Tier Three-Use Permit findings can be made. Staff's recommendation to the Planning Commission was to deny the project as proposed. A full discussion and analysis of the proposed project is included in the attached Planning Commission Staff Report (see Attachment "2").

The applicant's representative Dennis Wilson, a driving range employee, and a golf instructor all spoke in favor of the project. They all expressed a similar theme that driving ranges in the area are in high demand and a benefit to the community. Prior to the Planning Commission meeting, Staff received two letters of support that were provided to the Planning Commission the night of the meeting (see Attachment "4").

One adjacent landowner, Phillip Mouzes, spoke in opposition of the proposed driving range. Mr. Mouzes discussed concerns with the economic viability of a new driving range and the impact of removing farmland out of production. He also expressed concern with the added water demands that the facility may create.

At the Planning Commission hearing, the Planning Commissioners discussed the project indicating positions both against and in favor of the project. Some of the Commissioners expressed that the area is in transition from agriculture to urban uses and a use such as a driving range would provide a logical buffer to the city limits (to the south). In general, the Commissioners who voted in favor of the project expressed a strong need for the proposed use in the community and felt that the findings could be made in this case. Commissioner Assali, who cast the lone vote in opposition, expressed concern with taking viable agricultural land out of production and the additional constraints the facility would place on the surrounding agricultural operations. Furthermore, Commissioner Assali expressed an understanding of the benefit the proposed use would bring to the community, but felt that as a land use, the site is not appropriate and that the necessary findings cannot be made. The Planning Commission ultimately approved the project on a vote of 5-1 (Assali).

As a part of the project's approval, the Planning Commission modified Conditions of Approval No. 49 and No. 53. These two Conditions of Approval were originally placed on the project by the City of Turlock to address improvements to the road frontage along Taylor Road. The Planning Commission, at the request of the applicant's representative, modified the Conditions to allow the applicant the ability to enter into an agreement with the City of Turlock to defer these improvements. The City of Turlock is not supportive of the change as it removes the requirement for street improvements (curb, gutter, sidewalks, and street lights) and replaces this requirement with a deferred improvement agreement.

The appeal of the Planning Commission's decision has been filed by a group of fourteen (14) property owners, most of which own property to the north of the project site. The appeal letter submitted by the group provides a short discussion of the issues of concern (see Attachment "1"). Of those listed on the appeal letter only one, Phillip Mouzes, spoke in opposition to the project at the Planning Commission hearing.

Following the Planning Commission decision to approve the Use Permit, Staff received various letters in support and opposition to the project. These letters are attached to this report (see Attachment "6").

Staff has also received comments regarding the potential that development of this project site could violate sections of the "Third Amended Mutual Support Agreement" between the City of Turlock and Stanislaus County (see Attachment "5"). Section 1(b) of the Agreement specifically states that the City agrees *".....to not oppose future development projects between Keyes Road and Taylor Road as identified in Exhibit "A", attached hereto and incorporated by reference."* Exhibit "A" clearly shows the project site within the Keyes Road and Taylor Road area.

POLICY ISSUES:

This project has the potential to increase the pressure of allowing non-agricultural uses to develop surrounding the project site, immediately adjacent to the City of Turlock's Sphere of Influence. The Board should determine whether this project meets the priorities of both a strong local economy and the protection of agricultural resources.

STAFFING IMPACT:

None.

ATTACHMENTS:

1. Appeal Letter, dated March 26, 2009, from Surrounding Property Owners
2. Planning Commission Staff Report dated March 19, 2009
3. Planning Commission Minutes dated March 19, 2009
4. Letters of Support Submitted to Planning Commission on March 19, 2009
5. Third Amended Mutual Support Agreement - Stanislaus County / City of Turlock
6. Correspondence Received

March 26, 2009

Stanislaus County Board of Supervisors,

We are appealing the decision of the Stanislaus County Planning Commission to allow a golf driving range on Taylor Road in Turlock. This project is not compatible with agriculture. We own and farm land near this proposed project. The planning department recommended to deny this project. As stated in the planning staff report this is prime farmland surrounded by agricultural properties.

Allowing this project will transform our farming as we know it today. We will have complaints with our normal farming operations throughout the year. This decision will open the door for more problems in the future. We would like to see this area stay as it is; a farming community acting as the buffer between Turlock and Keyes.

Thank you and we look forward to a future discussion concerning this project.

Gregory Nascimento
Teri Nascimento

3507 W. Barnhart Road
Turlock, CA 95382

Robert Nascimento
MaryLou Nascimento

3730 W. Barnhart Road
Turlock, CA 95382

Phillip Mouzes
Margaret Mouzes

3436 W. Barnhart Road
Turlock, CA 95382

Mike Pereira
Wendy Pereira

3018 W. Barnhart Road
Turlock, CA 95382

Chuck Freitas

3325 W. Barnhart Rd.
Turlock, CA 95382

Joanne Speckens

Gilbert Teixeira
Linda Teixeira

5601N. Mountain View
Turlock, CA 95382

Robert Teixeira

3201 W. Barnhart Road
Turlock, CA 95382

Lindsey Teixeira

The right side of the document contains handwritten signatures for each of the individuals listed on the left. The signatures are written in black ink and are placed over horizontal lines. From top to bottom, the signatures correspond to: Gregory and Teri Nascimento; Robert and MaryLou Nascimento; Phillip and Margaret Mouzes; Mike and Wendy Pereira; Chuck Freitas; Joanne Speckens; Gilbert and Linda Teixeira; Robert Teixeira; and Lindsey Teixeira.

STANISLAUS COUNTY PLANNING COMMISSION

March 19, 2009

STAFF REPORT

USE PERMIT APPLICATION NO. 2008-10 TURLOCK GOLF CENTER

REQUEST: TO ESTABLISH A GOLF DRIVING RANGE ON A 39± ACRE PARCEL IN THE A-2-40 (GENERAL AGRICULTURE) ZONING DISTRICT. THE DEVELOPMENT WILL INCLUDE A 1,000 SQUARE FOOT MAINTENANCE BUILDING, A 2,000 SQUARE FOOT OFFICE/PRO-SHOP, AND A COVERED TEE AREA. THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF TAYLOR ROAD, EAST OF HWY 99 AND WEST OF MOUNTAIN VIEW ROAD, IN THE TURLOCK AREA.

APPLICATION INFORMATION

Owner/Applicant:	Fred & Shameran Adams
Agent:	Dennis Wilson, Horizon Consulting Services
Engineer:	Thomas Mochizuki Engineering
Location:	North side of Taylor Road, east of Hwy 99 and west of Mountain View Road, in the Turlock area
Section, Township, Range:	32-4-10
Supervisorial District:	Two (Supervisor Chiesa)
Assessor's Parcel:	045-053-008
Referrals:	See Exhibit J Environmental Review Referrals
Area of Parcel :	39± acres
Water Supply:	Private water well
Sewage Disposal:	Private aerobic septic/leach field system
Existing Zoning:	A-2-40
General Plan Designation:	Agriculture
Community Plan Designation:	Not applicable
Williamson Act:	Not currently enrolled
Environmental Review:	Negative Declaration
Present Land Use:	Almond orchard with an accessory structure.
Surrounding Land Use:	Agricultural uses to the north, east, and west, City of Turlock to the south - including a gas station, mini storage facility and a residential subdivision

PROJECT DESCRIPTION

This project is a request to establish a golf driving range on a 39± acre parcel in the A-2-40 (General Agriculture) zoning district on Taylor Road, in the north Turlock area. The project site will be improved with a 2,000 square foot Office/Pro-Shop, a 1,000 square foot maintenance shed, and

a covered tee area. All of the proposed structures will be of a steel building design (see Exhibit B - *Elevations*). The perimeter of the driving range will consist of netting mounted on 30-foot poles to protect the adjacent parcels from golf balls. Outdoor lighting is proposed to be on 20-foot poles. A Condition of Approval has been added that will require the installation of shielded light fixtures to prevent light trespass (glare and spill light that shines onto neighboring properties) and skyglow (light spilling into the night sky).

A 53-space car parking lot (including four handicap spaces) will be provided to meet the on-site parking requirements. The golf facility is anticipated to employ a total of four full-time employees. Hours of operation will be 8 a.m. to 7:00 p.m. during the winter and 8:00 a.m. to 10 p.m. during the summer. The estimated maximum number of customers on-site at any time will be 30.

The office/pro-shop will offer a limited amount golf related items for sale, mainly focused on the driving range customers who are in need of accessories such as golf balls, golf clubs, shoes and bags. It is also anticipated that there will be a repair service offered for customers who have damaged equipment. The proposed facility will also offer pre-packaged sandwiches, chips and sodas to its customers.

As part of the project approval, the applicant has asked that the Use Permit be structured so that the driving range can be developed in two phases (see Exhibit B). Phase I will include the majority of the development. Phase II will include the expansion of the driving range to the east, by relocating the nets 250 feet east, installing additional tee areas and the adding of two chipping and putting greens.

SITE DESCRIPTION

The project site consists of 39± acres planted as an almond orchard. Soils on the project site consist of Dinuba sandy loam (DrA); a Class II soil with a storic index of 77 and Traver sandy loam (TpA); a Class II soil with a storic index of 60 (see Exhibit A - *Soil Types*). The site is classified as Prime Farmland on the State Department of Conservation's Farmland Mapping and Monitoring Map based off the grade classification of Class II. There is presently a 2,000 square foot structure located on the project site which is being used in support of the on-site agricultural production. The application had originally identified this building as the future maintenance building. However, due to it's location in the future right-of-way/setback area, this building will have to be removed or relocated in order to be used in conjunction with the driving range. The proposed driving range will be served by a single driveway off Taylor Road. The surrounding area consists primarily of agricultural uses to the north, east, and west. The area south of the project site is within the city limits of the City of Turlock. It consists of a mini-storage facility, an AM-PM gas station, and a residential subdivision.

The project will be served by private water well and septic system. Private wells will be used for the irrigation of the entire site. The project site is not located within the City of Turlock's LAFCO-adopted Sphere of Influence.

DISCUSSION

The site is designated Agriculture and zoned A-2-40 (General Agriculture, 40-acre minimum). County Zoning Ordinance, Section 21.20.030(C)(2)(O), allows golf courses (excluding miniature golf), golf driving ranges, and practice putting greens in the General Agricultural Zoning District as

Tier Three uses requiring a use permit. Tier Three uses are defined as uses which are not directly related to agriculture but may be necessary to serve the A-2 district or may be difficult to locate in an urban area. The following findings must be made in order to grant approval of a Tier Three use:

1. The use as proposed will not be substantially detrimental to or in conflict with agricultural use of other property in the vicinity; and
2. The parcel on which such use is requested is not located in one of the County's "most productive agricultural areas" as that term is used in the Agricultural element of the General Plan; or the character of the use that is requested is such that the land may reasonably be returned to agricultural use in the future.

Background - Driving Ranges in the A-2 zoning district:

September of 1987: The County adopted Ordinance Amendment Number 87-1 amending the A-2 zoning district to allow golf courses and driving ranges in areas designated urban transition on the General Plan, subject to a use permit. The ordinance amendment was initiated by an applicant desirous of locating a golf course within the Urban Transition area of the City of Modesto. At the time, neither golf courses nor driving ranges were permitted in the A-2 zoning district.

Staff recommended approval of the ordinance amendment. Premature conversion of agricultural land and growth inducing effects were cited as reasons why some members of the Planning Commission opposed the ordinance amendment. The restriction to urban transition areas were based on concerns about removing viable farm land from production in areas which were not already committed, at least in the long run, to urban uses.

October of 1988: The County adopted Ordinance Amendment Number 88-4 amending the A-2 zoning district to allow golf courses and driving range facilities in all A-2 zoning areas, as opposed to restricting them to Urban Transition areas. This ordinance amendment was initiated by a private landowner wishing to locate a golf course on land they owned outside an Urban Transition area. Staff recommended approval of the ordinance.

The following findings were required under both Ordinance Amendments 87-1 and 88-4 for approval of a use permit:

1. The use as proposed will not be substantially detrimental to or in conflict with agricultural use and other property in the vicinity and,
2. Either the parcel on which such use is requested is of diminished agricultural importance because of size, shape, location, orientation, soil type or relationship to existing adjacent usage; or the character of the use which is requested is such that the land may reasonably be returned to agricultural use in the future.

July of 1993: The County adopted Ordinance Amendment Number 93-02 amending the A-2 zoning district with the intent of further supporting and enhancing agriculture in Stanislaus County. The amendment added the current A-2 tiering system which reorganized uses requiring use permits in the A-2 zone into three tiers based on the type of uses and their potential to adversely impact agriculture.

At the time, the committee working on the Ordinance Amendment felt Tier Three uses should be directed to Spheres of Influence and other less productive agricultural areas, since these uses can be people-intensive and thus can adversely impact agriculture. To accomplish this objective, the Ordinance Amendment proposed changing one of the findings requirements – instead of the requirement that the parcel be of diminished agricultural importance, the parcel must not be located in one of the County’s “most productive agricultural areas” as the term is used in the Agricultural Element. This ordinance amendment to the tier three findings is reflected in the current findings needed for approval of a use permit.

Approved - Driving Ranges:

The driving range located on the southeast corner of Crows Landing Road and Grayson Road, in the Ceres area was approved in March of 1991. And the existing driving range located on the northeast corner of Parker Road and Dewitt Road, in the east Modesto area was approved in March of 1993. In March of 2005, the McHenry Golf Driving Range, located on McHenry Avenue just north of Claribel Road/Kiernan Avenue was approved by the Planning Commission. Staff recommended denial on all three requests based on potential conflicts with adjacent agricultural uses. All of these projects stressed the ability of the land being able to be returned to an agricultural use. In the case of the Parker/Dewitt facility, the existence of the driving range was used to justify approval of a church facility in 2000. Staff is unaware of any specific agricultural conflicts resulting from the approval of the above facilities, all of which are still in operation today. Presently, there is a Use Permit Application (No. 2008-26 - Eastlake Baseball Complex) for a baseball facility at the location of Parker/Dewitt driving range. If approved, the driving range would cease operations and would be converted to three baseball fields and a training center building. This application should be heard by the Planning Commission at a later date, yet to be determined.

The former driving range located on Coffee Road and Claratina Aveune was approved in August of 1988. While the site was located in an urban transition area, staff recommended denial based on the potential to disrupt area farming and inconsistency with General Plan policy in effect at the time. The site was ultimately annexed to the City of Modesto in 2003 and is presently home to Shelter Cove Church.

Findings:

Exhibit C consists of the findings statement submitted by the applicant with the application. The following is a discussion of the findings required for approval of this request:

1. *The use as proposed will not be substantially detrimental to or in conflict with agricultural use of other property in the vicinity; and*

The majority of the area north of Taylor Road and outside the Turlock city limits and their sphere of influence, consists of larger parcels in agricultural production. To the north of the project site is a 40± acre parcel that is currently in agricultural production as both an almond orchard and seasonal row crops. The property to the west is 16.5 acres that is presently in agricultural production, rotating between wheat, alfalfa, and oats. The property located directly east of the project site consists of a 8.25± acre ranchette that, according to information on file with the Ag Commissioner’s Office, is not currently in agricultural production. Part of this proposed driving range application is to leave half of the project site (20± acres east of the driving range) in

agricultural production as an almond orchard. The Ag Commissioner's Office has reviewed this request and determined that spraying activities in the surrounding orchards (including the project site) will need to follow permit conditions when the proposed facility is occupied. Permit conditions restricting the application of sprays is standard practice where there are people-intensive uses in the area. As a result of spraying limitations, the proposed facility will result in an additional burden to the agricultural users in the area. The location of any non-agricultural use within the A-2 zoning district has the potential to conflict with the agricultural use of other property in the vicinity. Conflicts result from the application of pesticides and 'natural' fertilizers, dust generated by routine harvesting and land preparation, noise from heavy equipment, and other activities associated with accepted agricultural practices.

The properties to the south of the project site, south of Taylor Road, are all within the city limit of Turlock and presently include a residential subdivision, gas station, and a mini-storage facility.

- 2. The parcel on which such use is requested is not located in one of the County's "most productive agricultural areas" as that term is used in the Agricultural Element of the General Plan; or the character of the use that is requested is such that the land may reasonably be returned to agricultural use in the future.*

In determining "most productive agricultural area," factors to be considered include but are not limited to soil types and potential for agricultural production; and availability of irrigation water; ownership and parcelization patterns; uniqueness and flexibility of use; the existence of Williamson Act contracts; existing uses and their contributions to the agricultural sector of the economy. "Most productive agricultural area" does not include any land within LAFCO-approved spheres of influence of cities or community services districts and sanitary districts serving unincorporated communities.

The second part of this finding is virtually identical to the language used in the Agricultural Element of the General Plan to describe the term "most productive agricultural areas." The Agricultural Element specifies that until the term is defined on a countywide basis, the term will be determined on a case-by case basis when a proposal is made for the conversion of agricultural land. Spheres of Influence (SOI) are generally recognized as a plan for the probable ultimate physical boundary and service area of a local agency.

Based on the property's current agricultural usage, the availability of irrigation water, and the soil grade ("class") it would appear that the project site, and parcels in the vicinity, can be classified as a "most productive agricultural area." The project site is currently planted as an almond orchard and the surrounding lands are currently in agricultural production with a few scattered "ranchette" size properties. As stated previously, the project site itself consists of a Class II soil type and is classified as Prime Farmland by the Department of Conservation's Mapping and Monitoring Program.

The application information and finding statement submitted by the applicant identifies the parcel as being located in an area adjacent to the City of Turlock and a corridor of properties that stretch along Golden State Blvd, identified on the County's General Plan as Planned Development. In general, urbanization in the vicinity of the project area has been concentrated to this Planned Development corridor running along Golden State Blvd. The City of Turlock has long viewed Taylor Road as being the northern most boundary for both their Sphere of Influence and city limits. Staff does have some concern with the approval of this project establishing a precedent for non-agricultural uses on the north side of Taylor Road.

It is easy to say that the character of the proposed use is such that the land may reasonably be returned to agricultural use in the future, but in reality the likelihood of this happening is not great. In the mean time, you end up with a non-agricultural use surrounded by prime farmland which could be easily developed in a manner consistent with the commercial/urban type uses across the street. The proposed use by its nature may not be purely urban, but its potential impact based on the visual perception of a non-agricultural use in the area will have a broad impact on the surrounding agricultural area, mainly north of Taylor Road. The proposed use will generate an urban style traffic pattern while introducing urban style lighting, parking and landscaping into an agricultural area. The project will result in non-agricultural structures and infrastructure improvements which will limit the economic viability of returning the project back to agricultural production. It is staff's belief that if a non-agricultural use is allowed to develop on the north side of Taylor Road, that the pressure to convert the surrounding area to non-agricultural uses will intensify. As stated earlier in this report, the area west of the project site has clear boundaries in the form of the "Planned Development" General Plan designation. The area east of the project site has no clear boundaries and, thus, the question then becomes one of where to draw the line.

Agricultural Element - Buffer Requirement

In addition, the following finding is required for approval of any Use Permit within the A-2 zoning district:

The establishment, maintenance, and operation of the proposed use or building applied for is consistent with the General Plan designation of "Agriculture" and will not, under the circumstances of the particular case, be detrimental to the health, safety, and general welfare of persons residing or working in the neighborhood of the use and that it will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

In December of 2007, Stanislaus County adopted an updated Agricultural Element which incorporated guidelines for the implementation of agricultural buffers applicable to new and expanding non-agricultural uses within or adjacent to the A-2 zoning district. The purpose of these guidelines is to protect the long-term health of agriculture by minimizing conflicts resulting from the interaction of agricultural and non-agricultural uses. Current buffer guidelines require a project, that proposes people intensive outdoor uses (such as a driving range, athletic field, etc.), to provide a 300-foot setback, solid fencing and a double row of landscaping around the perimeter of the proposed operation.

Appendix A - Buffer and Setback Guidelines of the Agricultural Element, allows the project applicant to propose an alternative buffer to be reviewed and supported by the Stanislaus County Agricultural Advisory Board. An alternative buffer was presented to and supported by the Agricultural Advisory Board on December 15, 2008. The applicant's alternative (see Exhibit H - Alternative Agricultural Buffer) proposes to utilize the existing orchard on the eastern portion (20± acres) of the property to provide a "buffer" to the adjacent property. The "people intensive" area near the western property line, around the tee area, would consist of a vegetative screen and fencing, consistent with the County's Buffer Guidelines and would extend from the parking lot to the tee area. The 300-foot buffer setback requirement would not be part of the alternative along the western property line. The grass area of the driving range along with a small portion of orchard

(along the northern property line) would provide a buffer area for the north half of the property. In addition to the required Agricultural Advisory Board's support, the Stanislaus County Planning Commission, in accordance with Appendix A - Buffer and Setback Guidelines of the Agricultural Element, shall make a finding that the buffer alternative is found to provide equal or greater protection to surrounding agricultural uses.

City of Turlock

As previously mentioned, the project site is located north of Taylor Road which is outside both the city limits and sphere of influence for the City of Turlock. As a part of an annexation request by the City of Turlock in 1994, the entire right-of-way of Taylor Road (in front of the project site) was annexed to the City of Turlock. As a result, the project applicant/developer, would need to obtain an encroachment permit from the City in order to install the driveway and other improvements associated with the project. Since Taylor Road is within the City of Turlock, the proposed project was referred to them for comments and review. A response from the City of Turlock was received and is attached for reference (see Exhibit G). The City has asked that the project applicant/developer install certain road improvements in order to address the potential impacts to Taylor Road. These improvements include acceleration/deceleration lanes and a dedicated left-turn lane. On the portion of the property in front of the driving range the City has indicated the need for curb, gutter, sidewalks, and streetlights although these improvements may be deferred to a later date at the discretion of the City. The comments received by the City of Turlock, including the road improvements have been incorporated into the project's Conditions of Approval (see Exhibit D).

LANDSCAPE PLAN

A preliminary landscape plan has been submitted by the applicant and is provided for review in Exhibit B. Although the majority of the site will be turfed, the plan does provide landscaping along the frontage of the property, parking area, and around the buildings. The trees proposed for the site are five (5) Camphor trees, five (5) Crape Myrtles, four (4) Scarlet Maples, and four (4) Coast Live Oak trees. All trees will be a minimum of 15 gallon sizes. The ground covers and shrubs which include boxwood hedge, daylily, chinese fringe flower, dwarf olive, rosemary, and Indian hawthorn will be planted in 1 to 5 gallon sizes. The preliminary landscaping plan does not account for the alternative buffer and vegetative screening requirements. A Condition has been added that requires the applicant to submit a final landscape plan that is consistent with the requirements prior to the construction of the driving range.

ENVIRONMENTAL REVIEW

Pursuant to the California Environmental Quality Act (CEQA), the proposed project was circulated to all interested parties and responsible agencies for review and comment (see Exhibit J). Based on the comments received and the Initial Study discussion, a Negative Declaration is being recommended for adoption (see Exhibits E and F).

RECOMMENDATION

Based on all evidence on the record, and on the ongoing discussion, staff does not believe the findings can be made and recommends the Planning Commission deny Use Permit Application No. 2008-10 - Turlock Golf Center.

However, if a decision is made to approve this application, staff recommends the Planning Commission take the following actions:

1. Adopt the Negative Declaration pursuant to CEQA Guidelines Section 15074(b), by finding that on the basis of the whole record, including the Initial Study and any comments received, that there is no substantial evidence the project will have a significant effect on the environment and that the Negative Declaration reflects Stanislaus County's independent judgement and analysis.
2. Order the filing of a Notice of Determination with the Stanislaus County Clerk-Recorders Office pursuant to Public Resources Code Section 21152 and CEQA Guidelines Section 15075.
3. Find That:
 - A. The establishment, maintenance, and operation of the proposed use or building applied for is consistent with the General Plan designation of "Agriculture" and will not, under the circumstances of the particular case, be detrimental to the health, safety, and general welfare of persons residing or working in the neighborhood of the use and that it will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County,
 - B. The use as proposed will not be substantially detrimental to or in conflict with agricultural use of other property in the vicinity, and
 - C. The parcel on which such use is requested is not located in one of the County's "most productive agricultural areas," as that term is used in the Agricultural Element of the General Plan;

OR

the character of the use that is requested is such that the land may be reasonably returned to agricultural use in the future; and

 - D. That the proposed alternative buffer is found to provide equal or greater protection to surrounding agricultural uses; and
4. Find that the project will increase activity in and around the project area, and increase demands for roads and services, thereby requiring dedications and improvements; and,
5. Approve Use Permit Application 2008-10 - Turlock Golf Center, subject to the attached Conditions of Approval.

Note: Pursuant to California Fish and Game Code Section 711.4, all project applicants subject to the California Environmental Quality Act (CEQA) shall pay a filing fee for each project. Therefore, the applicant will further be required to pay **\$2,050.00** for the Department of Fish and Game, and the Clerk Recorder filing fees. The attached Conditions of Approval ensure that this will occur.

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Staff Report
March 19, 2009
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Report written by: Joshua Mann, Associate Planner, March 5, 2009

Attachments:

- Exhibit A - Maps
- Exhibit B - Site Plan, Landscaping & Elevations
- Exhibit C - Application & Applicant's Findings Statement
- Exhibit D - Conditions of Approval
- Exhibit E - Initial Study
- Exhibit F - Negative Declaration
- Exhibit G - City of Turlock letter dated December 11, 2008
- Exhibit H - Alternative Buffer Proposal
- Exhibit I - Ag Advisory Board Minutes - December 2008
- Exhibit J - Environmental Review Referrals

Reviewed by:



Angela Freitas, Deputy Director

JM:er

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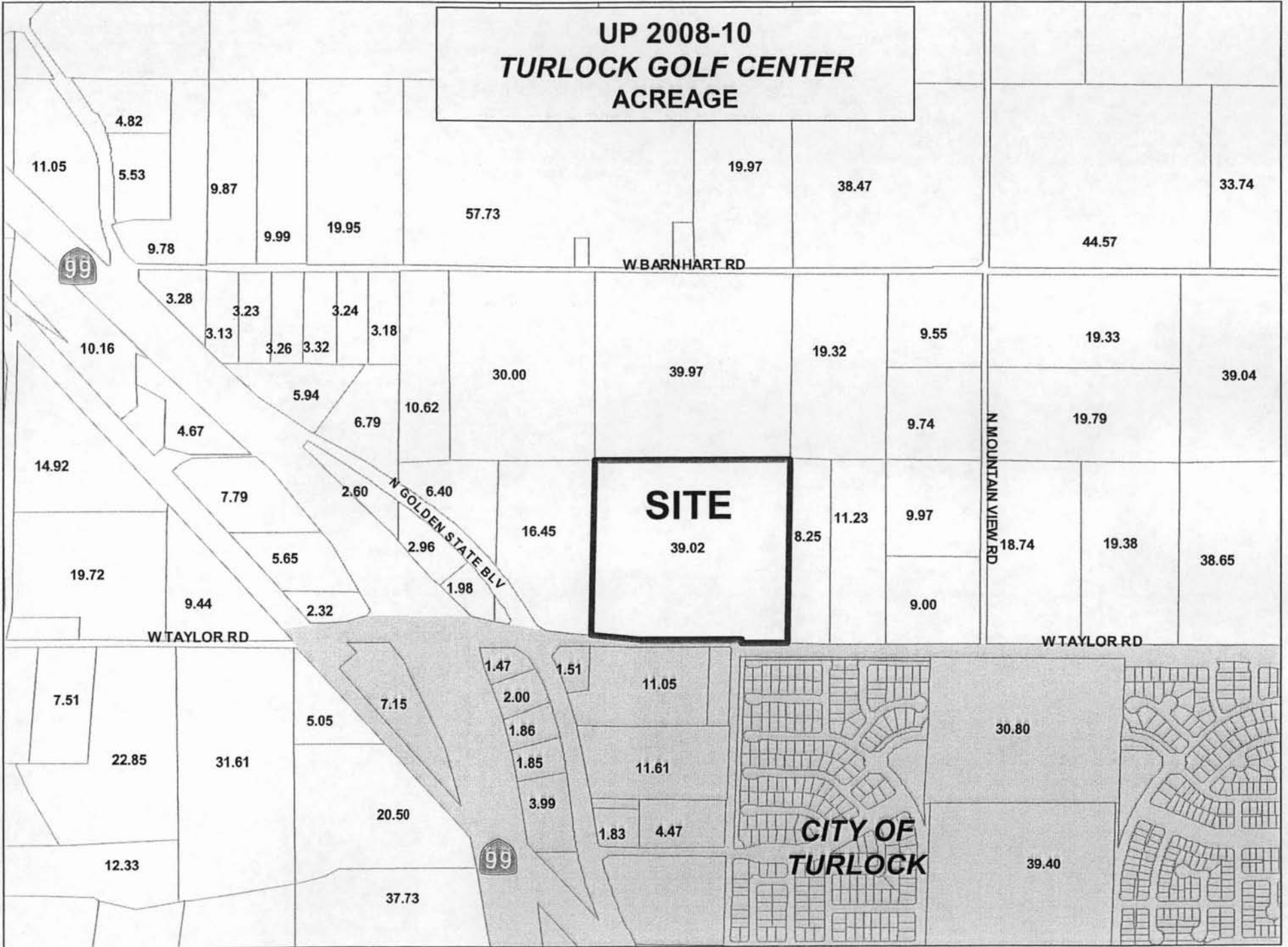
**UP 2008-10
TURLOCK GOLF CENTER
AREA MAP**



**UP 2008-10
TURLOCK GOLF CENTER
ACREAGE**

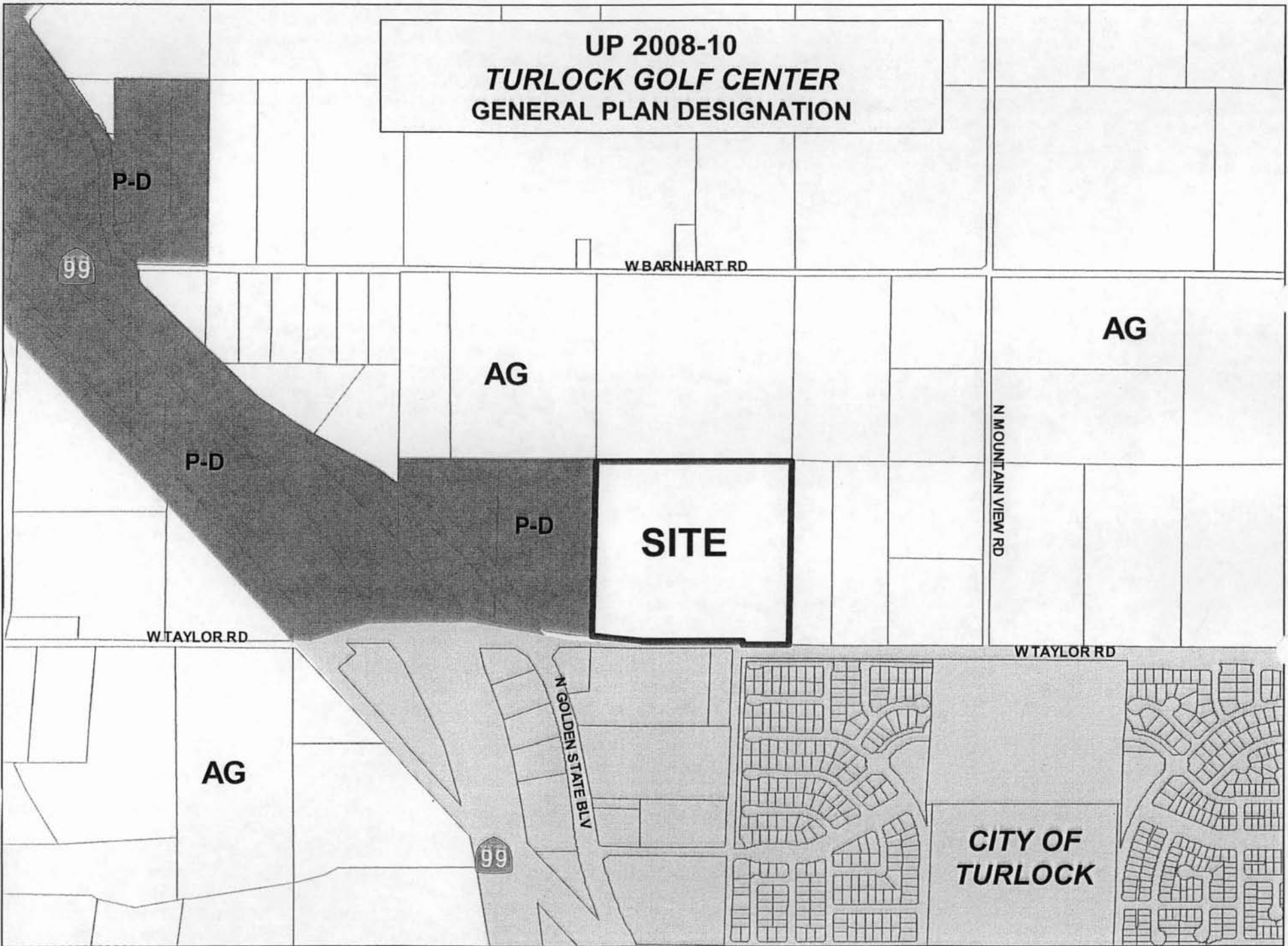
SITE

**CITY OF
TURLOCK**



11
EXHIBIT A-1

**UP 2008-10
TURLOCK GOLF CENTER
GENERAL PLAN DESIGNATION**



P-D

99

W BARNHART RD

AG

AG

N MOUNTAIN VIEW RD

P-D

P-D

SITE

W TAYLOR RD

W TAYLOR RD

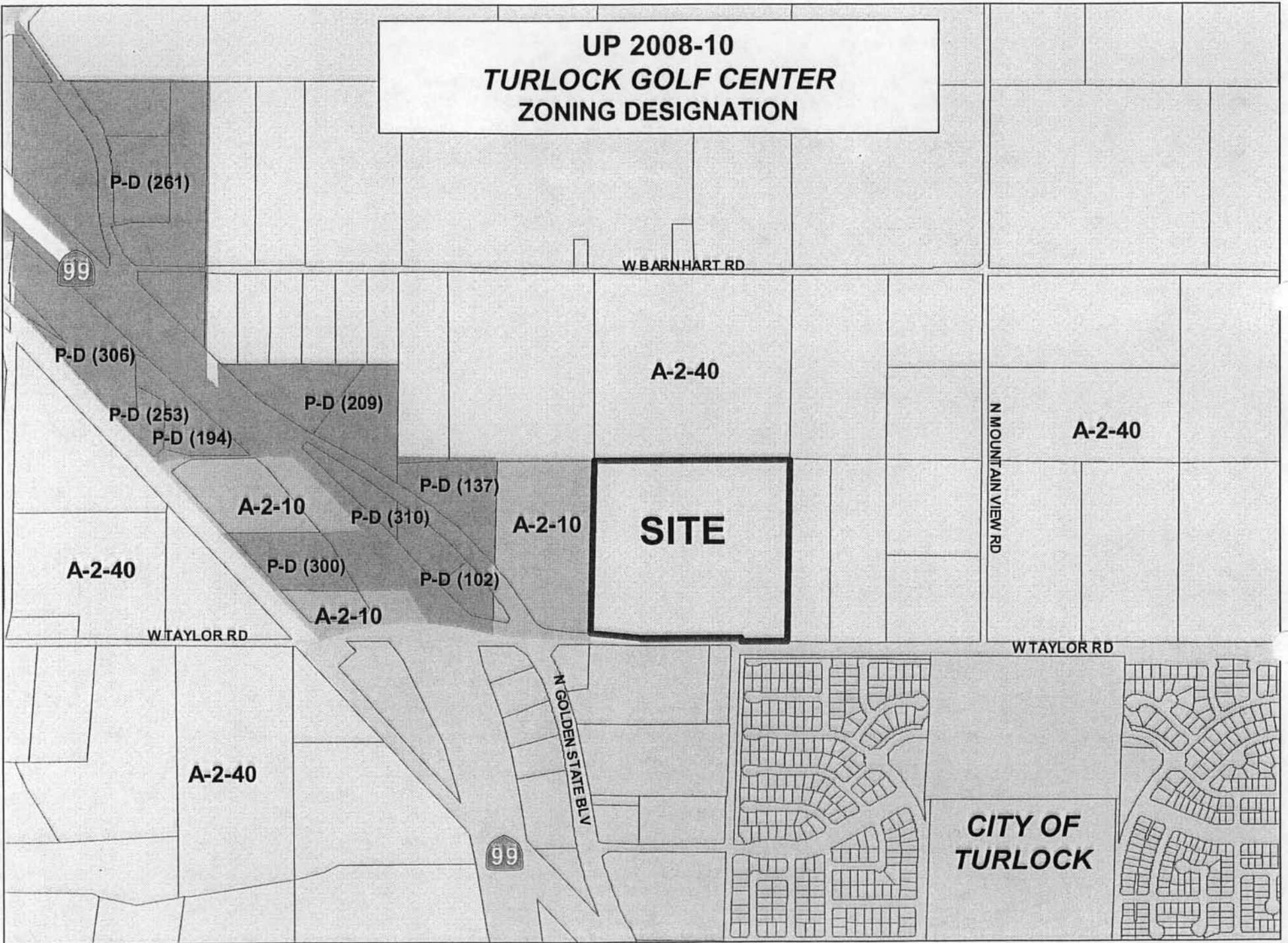
AG

N GOLDEN STATE BLVD

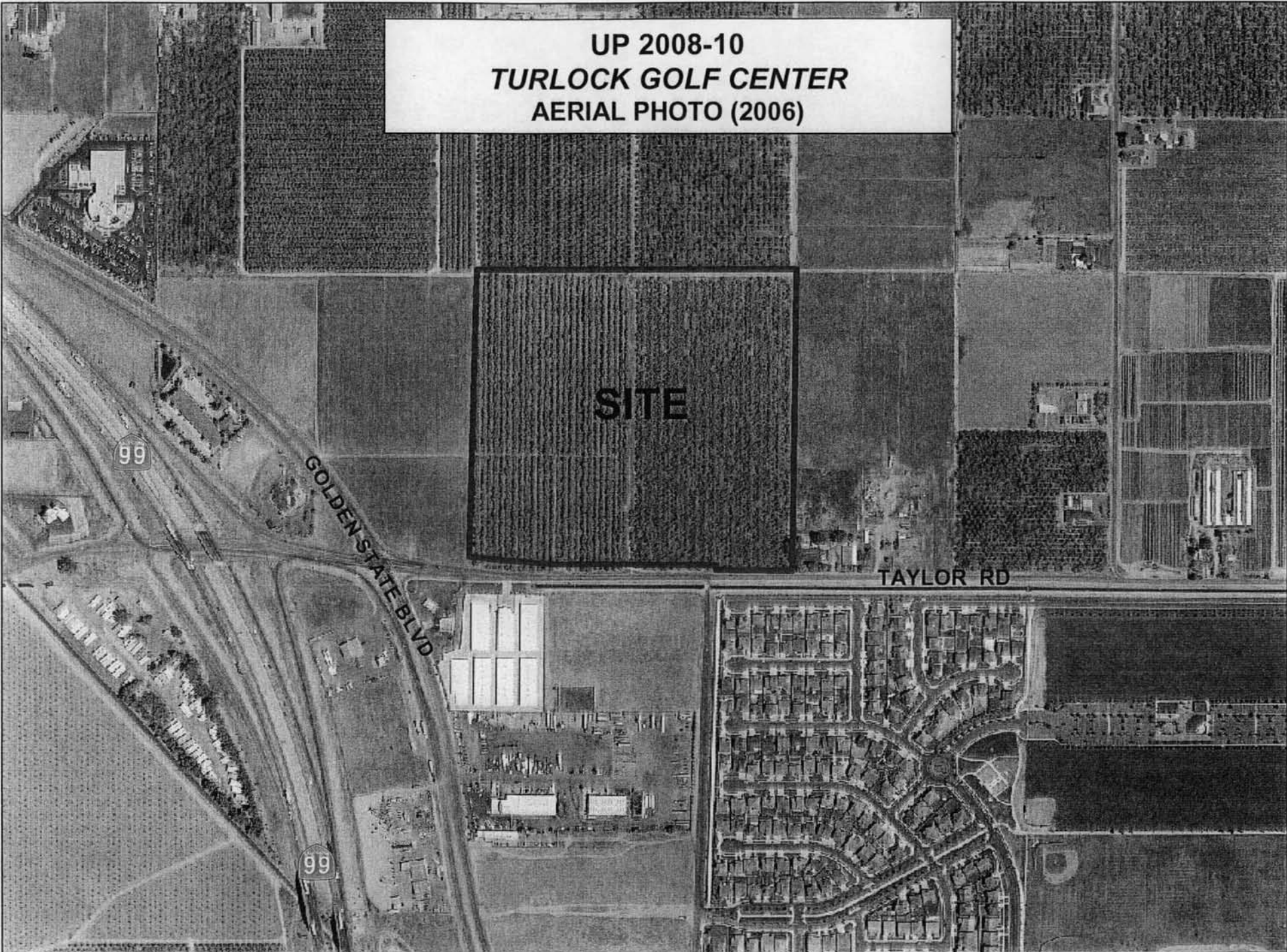
99

**CITY OF
TURLOCK**

**UP 2008-10
TURLOCK GOLF CENTER
ZONING DESIGNATION**



**UP 2008-10
TURLOCK GOLF CENTER
AERIAL PHOTO (2006)**



SITE

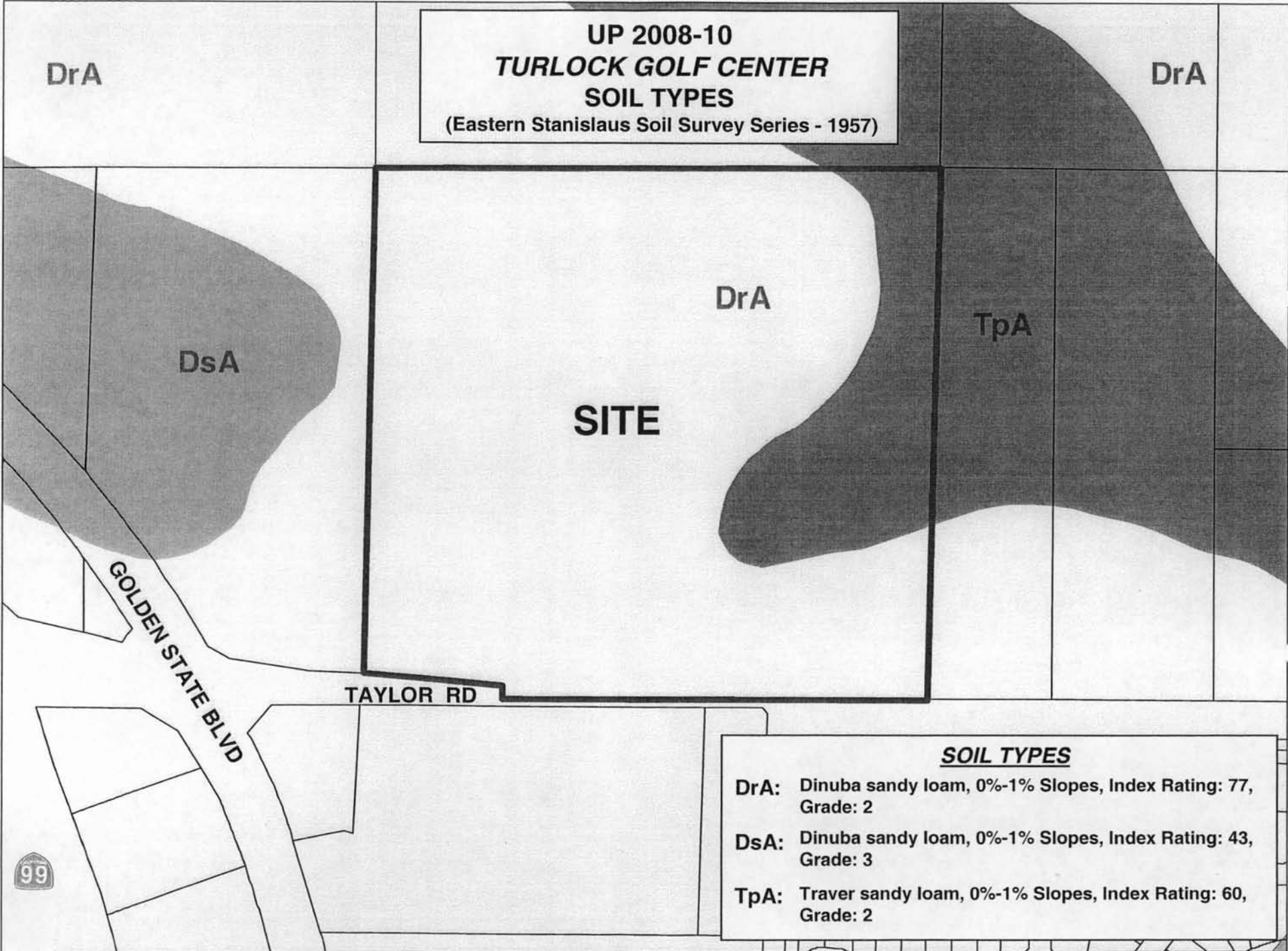
GOLDEN STATE BLVD

TAYLOR RD

99

99

**UP 2008-10
TURLOCK GOLF CENTER
SOIL TYPES**
(Eastern Stanislaus Soil Survey Series - 1957)



SOIL TYPES

DrA:	Dinuba sandy loam, 0%-1% Slopes, Index Rating: 77, Grade: 2
DsA:	Dinuba sandy loam, 0%-1% Slopes, Index Rating: 43, Grade: 3
TpA:	Traver sandy loam, 0%-1% Slopes, Index Rating: 60, Grade: 2

15

EXHIBIT A-5



1325.94'

611.9' +

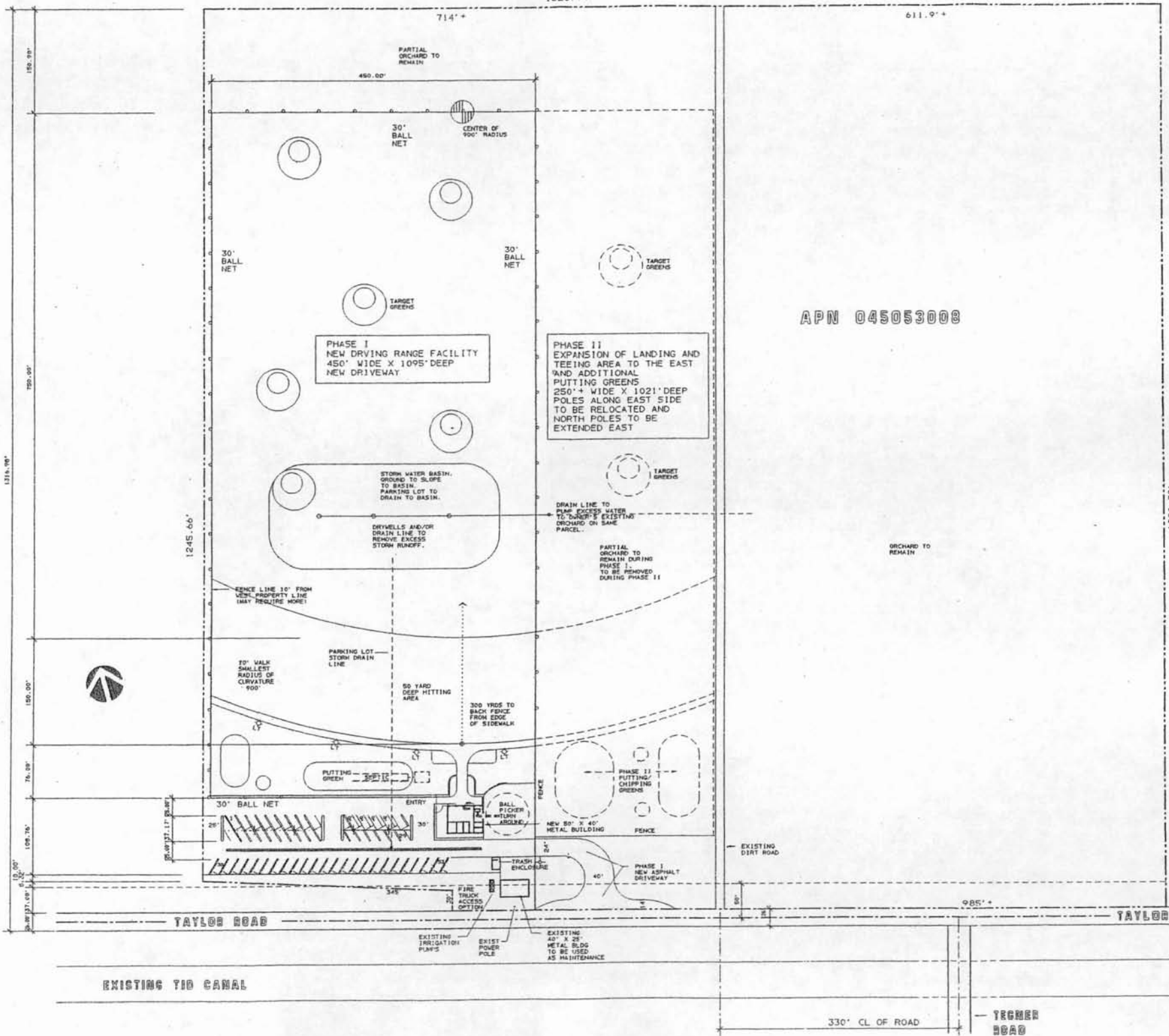
714' +

150.99'
750.00'
1316.00'
150.00'
76.88'
100.76'
10.00'

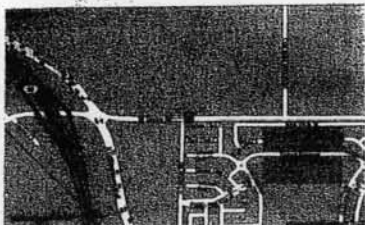
1245.66'

60.0421

APN 045053008



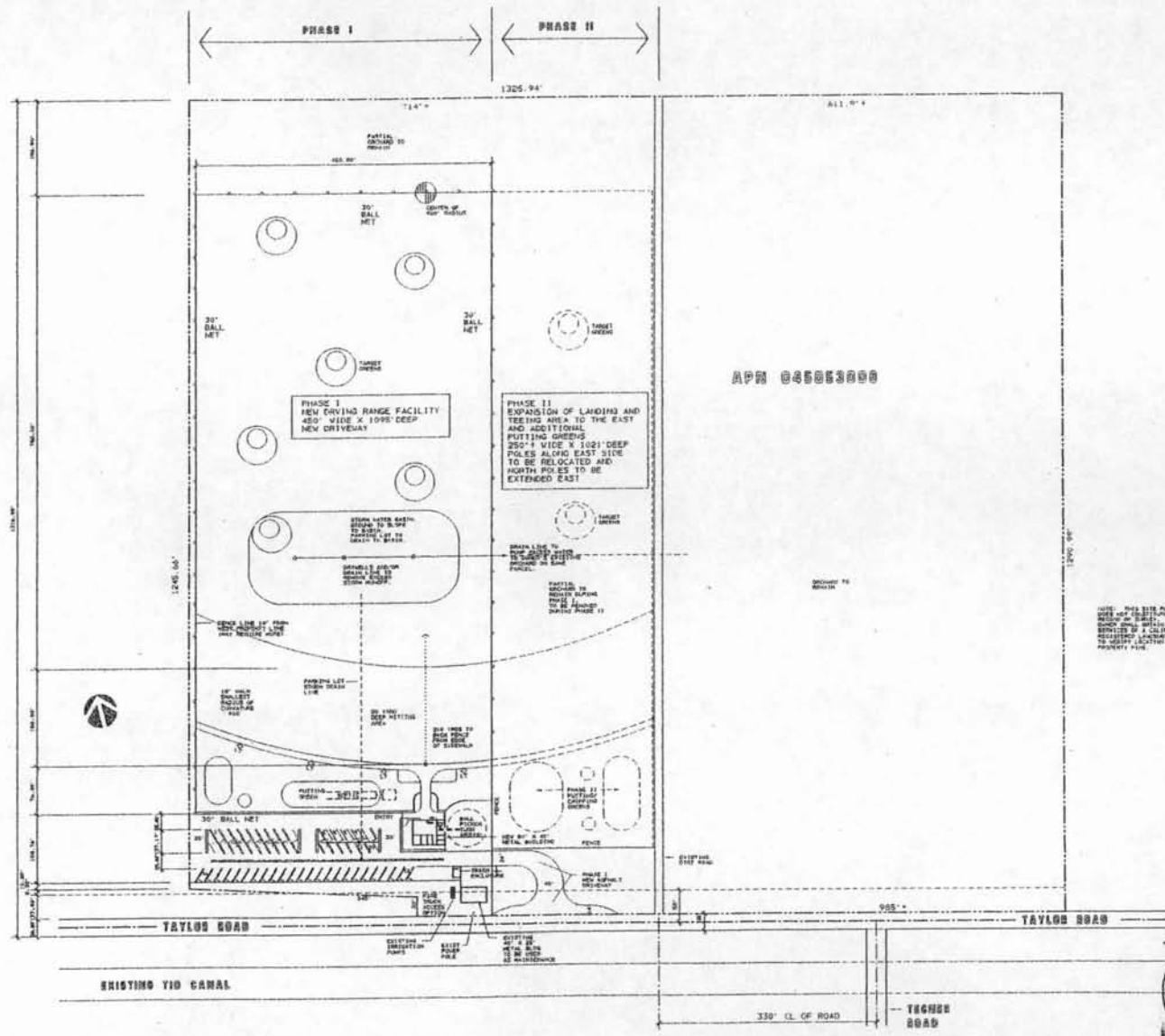
1337 W Taylor Rd, Turlock, CA



17 SITE VICINITY MAP

PROJECT: PHASE II NEW DRIVING RANGE AND EXISTING AGRICULTURAL PROPERTY
OWNER: TAYLOR GOLF COURSE / WOODS, CALIFORNIA / 9888
DESIGNER: HILLER ASSOCIATES
EXISTING METAL BUILDING: 20' x 40' TO BE USED AS MAINTENANCE SHED
NEW BUILDING: 40' x 80' x 10' METAL BUILDING, 2000 SF
ALL METAL CONSTRUCTION: 40' x 80' x 10'
FOUNDATION: 24" x 24" x 12"
ROOF: 12" x 12" x 12"
WALLS: 12" x 12" x 12"
CEILING: 12" x 12" x 12"
FLOOR: 12" x 12" x 12"
DOOR: 12" x 12" x 12"
WINDOW: 12" x 12" x 12"
FINISH: 12" x 12" x 12"
INSULATION: 12" x 12" x 12"
MECHANICAL: 12" x 12" x 12"
ELECTRICAL: 12" x 12" x 12"
PLUMBING: 12" x 12" x 12"
PAINT: 12" x 12" x 12"
LANDSCAPE: 12" x 12" x 12"
UTILITIES: 12" x 12" x 12"
ENVIRONMENTAL: 12" x 12" x 12"
PERMITS: 12" x 12" x 12"
CONTRACTORS: 12" x 12" x 12"
INSPECTION: 12" x 12" x 12"
COMPLETION: 12" x 12" x 12"
WARRANTY: 12" x 12" x 12"
DISCLAIMER: 12" x 12" x 12"
NOTES: 12" x 12" x 12"
REVISIONS: 12" x 12" x 12"
DATE: 12" x 12" x 12"
DRAWN BY: 12" x 12" x 12"
CHECKED BY: 12" x 12" x 12"
APPROVED BY: 12" x 12" x 12"
SCALE: 12" x 12" x 12"
SHEET NO.: 12" x 12" x 12"
TOTAL SHEETS: 12" x 12" x 12"

18 BUILDING CODE DATA



17 SITE PLAN 1" = 60'

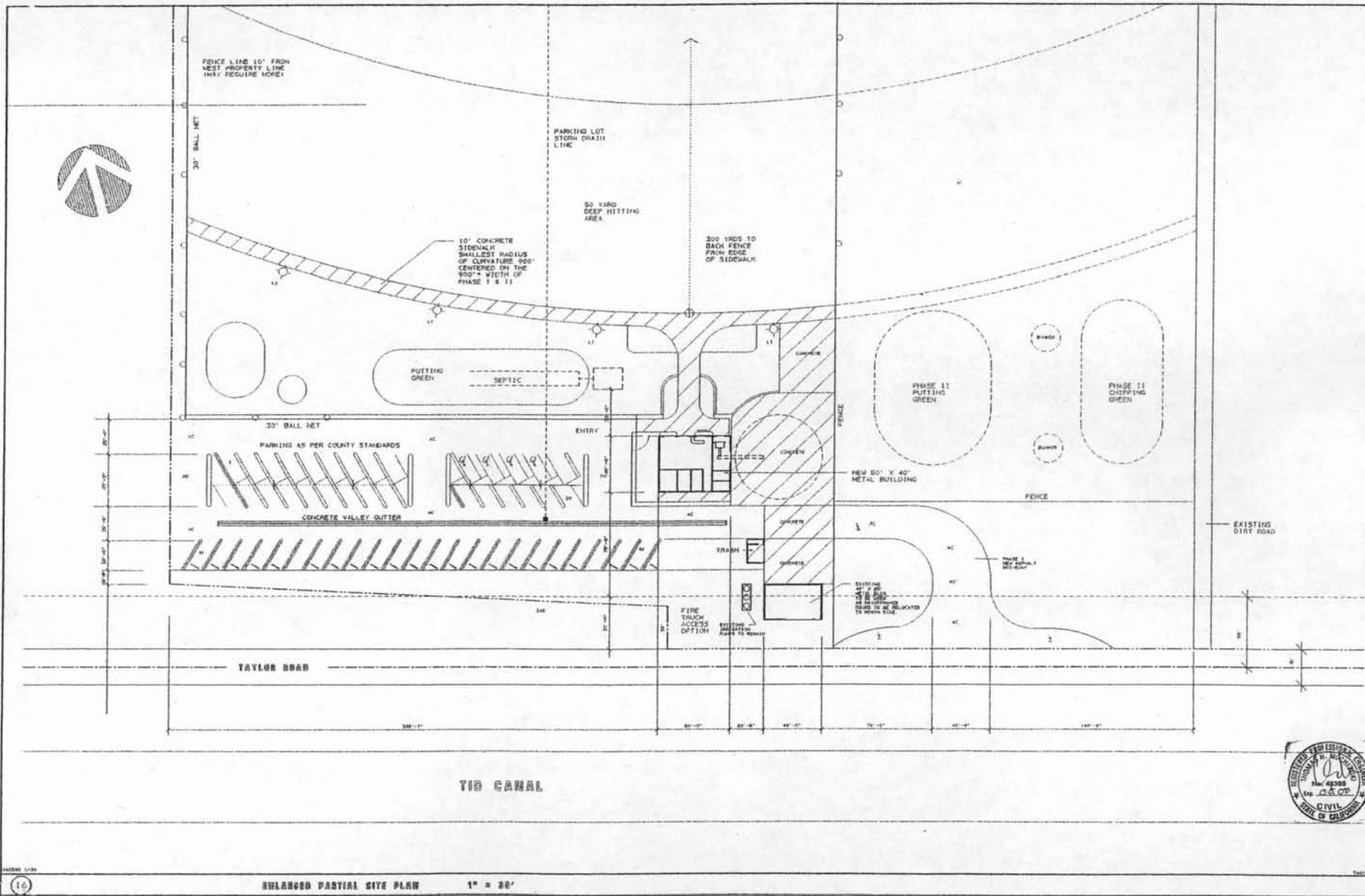


HILLER ASSOCIATES
 3300 TAYLOR ROAD
 TURLOCK, CALIFORNIA 95290
 TEL: 209/265-1111
 FAX: 209/265-1111

SITE PLAN
 10/25

DESIGN: TH
 CHECKED: TM
 DATE: 2-3-08
 FILE: 08230
 SHEET

AD

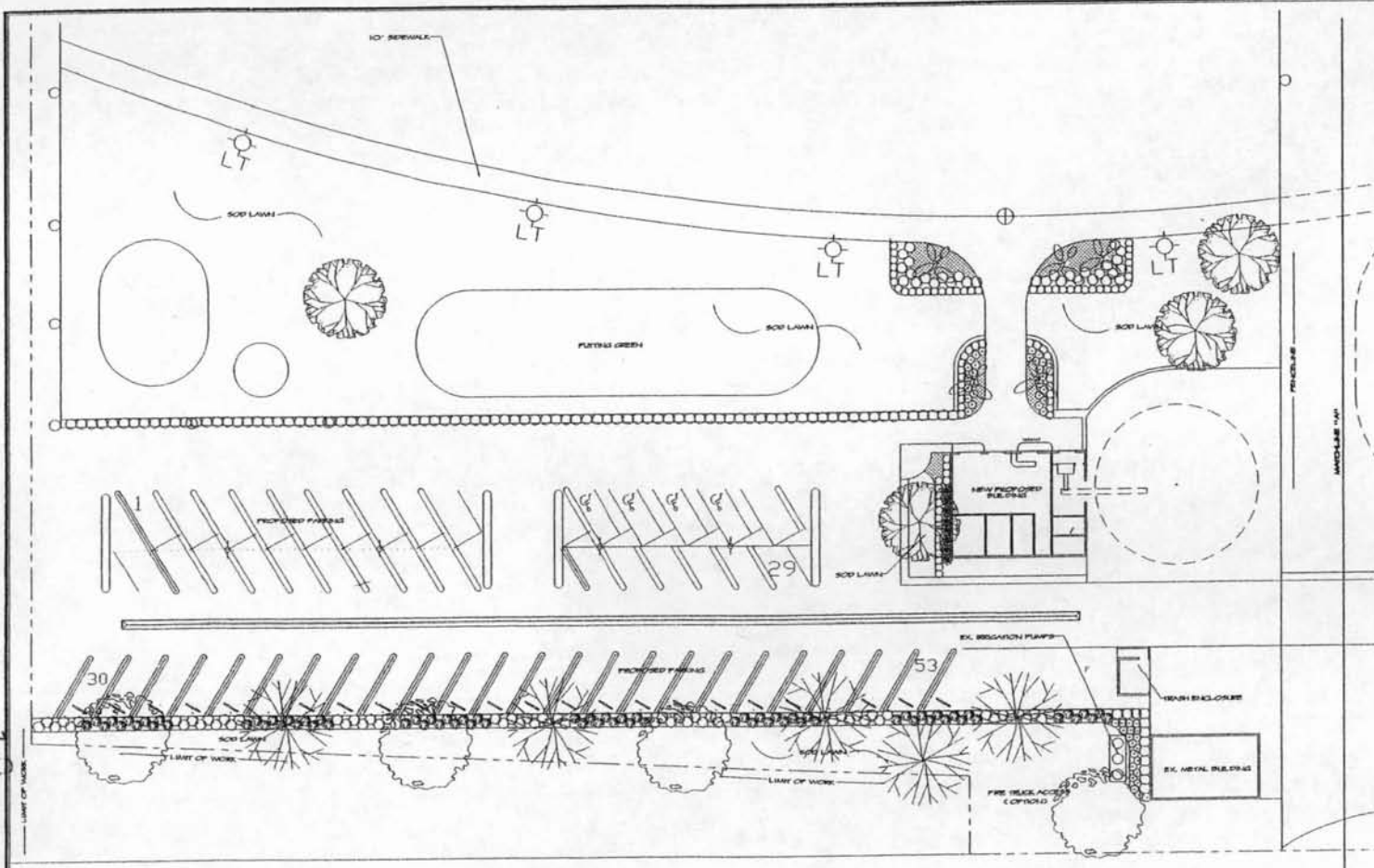


WILLER ASSOCIATES
 10000 WILSON AVENUE
 SUITE 100
 FORT WORTH, TEXAS 76116

TUBBS GOLF CENTER
 3307 TAYLOR ROAD
 FORT WORTH, TEXAS 76116



ENLARGED PARTIAL SITE PLAN
 SCALE 1" = 30'
 DESIGN: TH
 CHECKED: TM
 DATE: 3-3-08
 FILE: 08230
 SHEET: A1



TAYLOR ROAD

Symbol	Plant Name	Common	Quantity	Size
(Symbol)	Acacia 'Adam's Peak'	Scrub Maple	4	18" dia
(Symbol)	Conocarpus 'Tid'	Candler Tree	8	24" dia
(Symbol)	Leucostemum 'Madison'	Mini-Tulip Tree	8	18" dia
(Symbol)	Quercus agrifolia 'Tid'	Candle Tree	4	24" dia
Symbol	Plant Name	Common	Quantity	Size
(Symbol)	Plant No. 1 'Green Point'	Japanese Plum	80	1" dia
(Symbol)	Plant No. 2 'Tara-Gate Park'	Flax	40	1" dia
(Symbol)	Plant No. 3 'Thornless Red'	Chinese Elm	8	9" dia
(Symbol)	Plant No. 4 'Red Oak'	Red Oak	72	9" dia
(Symbol)	Plant No. 5 'Redwood'	Redwood	8	9" dia
(Symbol)	Plant No. 6 'Yucca'	Yucca	16	9" dia
(Symbol)	Plant No. 7 'Yucca'	Yucca	99	9" dia

PLANTING NOTES

1. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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9. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

↑ NORTH
SCALE 1"=20'
CALL USA TOLL FREE
800-842-2444
TURLOCK, CALIFORNIA
12/15/10

APPROVED BY: [Signature]

REVISED: [Table]

DATE: [Table]

PLANTING PLAN
TURLOCK GOLF CENTER
TAYLOR ROAD
TURLOCK, CALIFORNIA

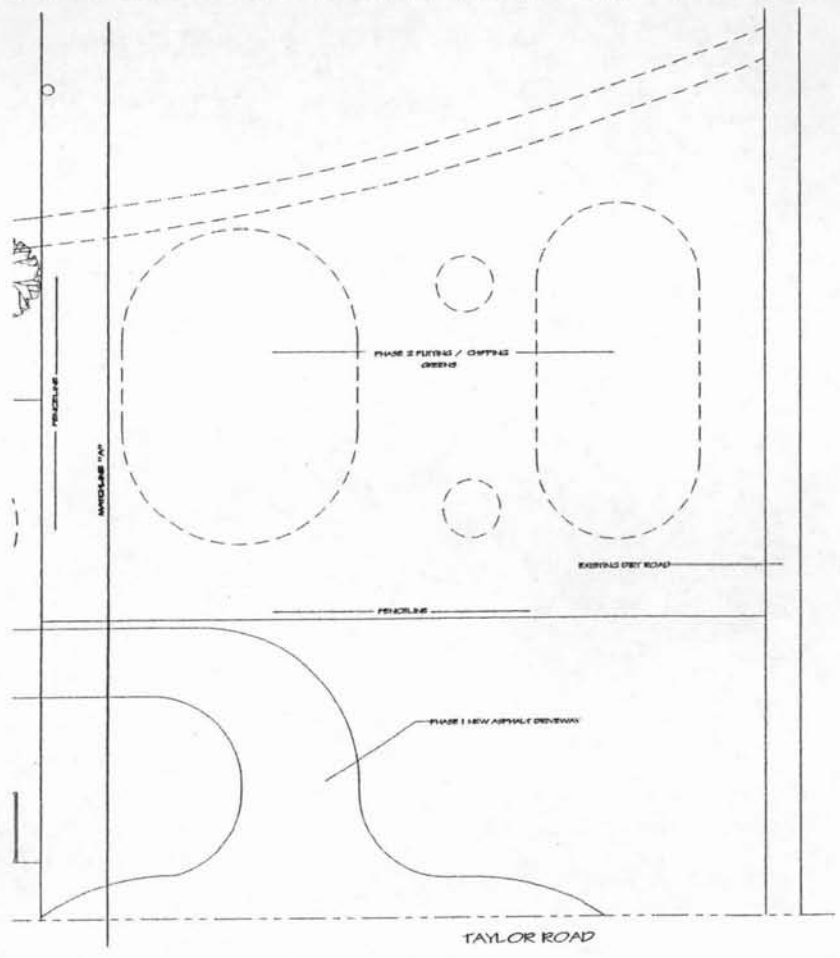
POLHEMUS ENTERPRISES
2014 EAST BRIDGE ROAD
ESCROW # 2010-000000000
P.O. BOX 1000
TURLOCK, CALIFORNIA 95231
TEL: (209) 666-1234
WWW.POLHEMUS.COM

DATE: 12/15/10

SCALE: 1"=20'

SHEET NUMBER
L1
OF 2 SHEETS

20



Symbol	Species	Common Name	Quantity	Size
	Araucaria 'Monterey'	Santa Monica	4	18 Gal
	Conocarpus 'Red'	Candle Tree	8	24" Dia
	Laurus nobilis 'Woodrose'	Mediterranean Bay Laurel	8	18 Gal
	Quercus agrifolia 'Red'	Coast Live Oak	4	24" Dia
Shrubs				
	Rosa 'New Dawn'	Japanese Rose	80	1 Gal
	Hamamelis 'Vermilion Chippewa'	Witch Ham	80	1 Gal
	Ligustrum 'Vandal'	Chinese Privet	8	9 Gal
	Chamaecyparis 'Little Chis'	Floral Cedar	72	9 Gal
	Photinia 'Red Robin'	Indian Hawthorn	48	9 Gal
	Ficus 'Tendera'	Ficus Elastica	36	9 Gal
	Yucca 'Purpurea'	Yucca	99	9 Gal
Structures				
	Structure 1 (Park)	Concrete Structure (Park)	1	8' x 12' x 6"

- PLANTING NOTES**
1. PLANTING BEDS SHALL BE 18" DEEP FOR 18" GALLONS OF SOIL. THE CENTER LINE SHALL BE IN THE CENTER OF THE BED. A 12" GALLON OF SOIL SHALL BE REQUIRED FOR EACH BED. THE CENTER LINE SHALL BE IN THE CENTER OF THE BED. A 12" GALLON OF SOIL SHALL BE REQUIRED FOR EACH BED.
 2. PLANTING BEDS SHALL BE 18" DEEP FOR 18" GALLONS OF SOIL.
 3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SOIL, DRAINAGE AND DRAINAGE OF LANDSCAPED AREAS.
 4. ALL PLANTING SHALL BE DONE WITHIN THE SPECIFIED TIME FRAME AND SHALL BE DONE WITHIN THE SPECIFIED TIME FRAME.
 5. PLANTS TO BE GUARANTEED FOR 18 MONTHS FROM THE DATE OF PLANTING.
 6. ALL PLANTS SHALL BE GUARANTEED FOR 18 MONTHS FROM THE DATE OF PLANTING.
 7. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF PLANTS DURING THE GUARANTEE PERIOD.
 8. AT THE COMPLETION OF THE WORK, ALL PLANTS SHALL BE GUARANTEED FOR 18 MONTHS FROM THE DATE OF PLANTING.
 9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF PLANTS DURING THE GUARANTEE PERIOD.

NORTH
SCALE 1"=20'
CALL USA TOLL FREE
800-642-2444

PLANTING PLAN
TURLOCK GOLF CENTER
TURLOCK, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

APPROVED BY: _____

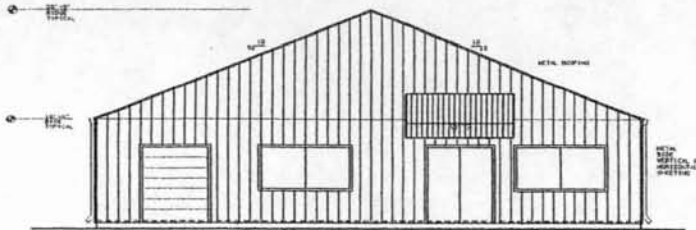
DATE: _____

POLHEMUS ENTERPRISES
20144 EAST BAYVIEW ROAD
ESCROW # 2013000300
FAT # 2013000300-013
TURLOCK, CALIFORNIA 95234
TEL: 800-642-2444
WWW.POLHEMUS.COM

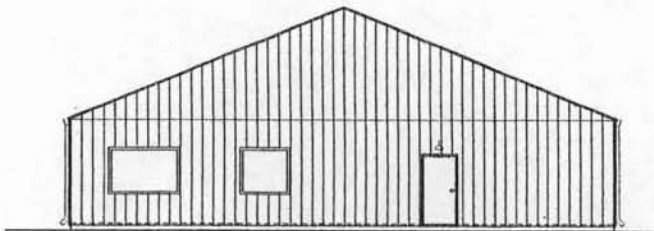
DATE & SIGNATURE

L2

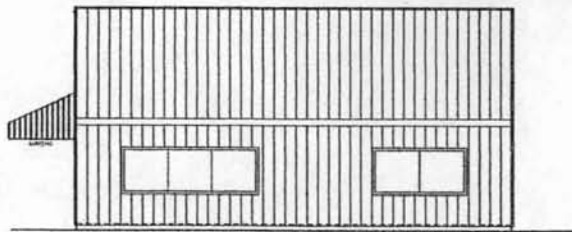
OF 2 SHEETS



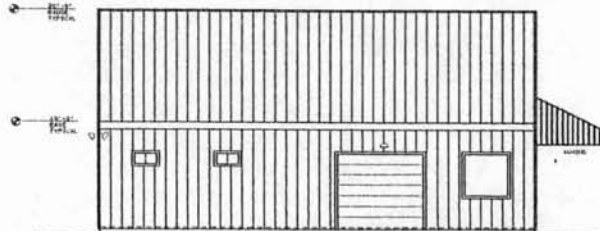
NORTH ELEVATION 2/16" = 1'-0"



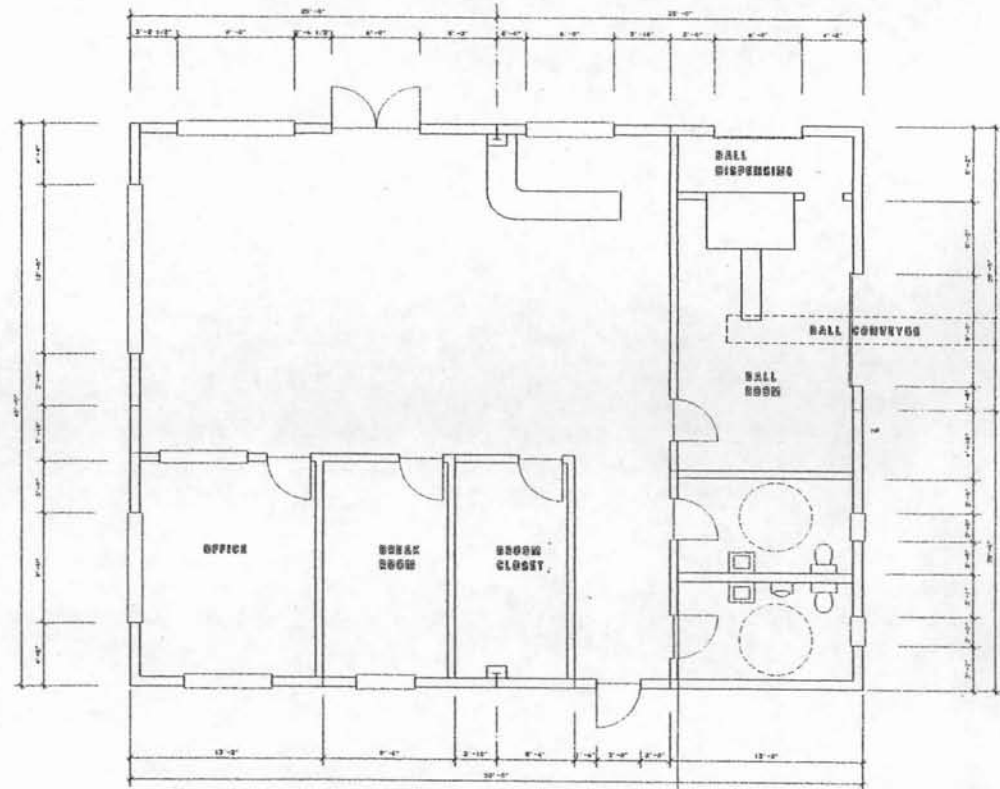
SOUTH ELEVATION 2/16" = 1'-0"



WEST ELEVATION 2/16" = 1'-0"



EAST ELEVATION 2/16" = 1'-0"



FLOOR PLAN 1/8" = 1'-0"



ALL RIGHTS RESERVED
NO PART TO BE REPRODUCED

WILLIS ASSOCIATES

TUBERK SELF SONY
2557 TAYLOR ROAD
TUBERIA, CALIFORNIA

FLOOR PLAN
ELEVATIONS

DESIGN BY

CHECKED BY

DATE

SHEET

A2

21



APPLICATION QUESTIONNAIRE

Please Check all applicable boxes

APPLICATION FOR:

Staff is available to assist you with determining which applications are necessary

- | | |
|---|--|
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Subdivision Map |
| <input type="checkbox"/> Rezone | <input type="checkbox"/> Parcel Map |
| <input type="checkbox"/> Use Permit | <input type="checkbox"/> Exception |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Williamson Act Cancellation |
| <input type="checkbox"/> Historic Site Permit | <input type="checkbox"/> Other _____ |

PLANNING STAFF USE ONLY:

Application No(s): _____
 Date: _____
 S _____ T _____ R _____
 GP Designation: _____
 Zoning: _____
 Fee: _____
 Receipt No. _____
 Received By: _____
 Notes: _____

In order for your application to be considered COMPLETE, please answer all applicable questions on the following pages, and provide all applicable information listed on the checklist on pages i – v. Under State law, upon receipt of this application, staff has 30 days to determine if the application is complete. We typically do not take the full 30 days. It may be necessary for you to provide additional information and/or meet with staff to discuss the application. Pre-application meetings are not required, but are highly recommended. An incomplete application will be placed on hold until all the necessary information is provided to the satisfaction of the requesting agency. An application will not be accepted without all the information identified on the checklist.

Please contact staff at (209) 525-6330 to discuss any questions you may have. Staff will attempt to help you in any way we can.

PROJECT INFORMATION

PROJECT NAME: TURLOCK GOLF CENTER
 (Desired name for project, if any)

CONTACT PERSON: Who is the primary contact person for information regarding this project?

Name: Dennis E. Wilson/Horizon Consulting Telephone: (209) 491-7620

Address: P.O. Box 1448, Modesto, CA 95353

Fax Number: (209) 491-7626 email address: dwilson@arrival.net

(Attach additional sheets as necessary)
PROPERTY OWNER'S NAME: Fred and Shameran Adams

Mailing Address 6533 Carver Rd.

Modesto, CA 95356

Telephone: (209) 575-5845 Fax: (209) 575-5846

APPLICANT'S NAME: Dennis E. Wilson dba Horizon Consulting Services

Mailing Address P.O. Box 1448, Modesto, CA 95353

Telephone: (209) 491-7620 Fax: (209) 491-7626

ENGINEER / APPLICANT: n/a

Mailing Address _____

Telephone: _____ Fax: _____

PROJECT DESCRIPTION: (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets as necessary)

**Please note: A detailed project description is essential to the reviewing process of this request. In order to approve a project, the Planning Commission or the Board of Supervisors must decide whether there is enough information available to be able to make very specific statements about the project. These statements are called "Findings". It is your responsibility as an applicant to provide enough information about the proposed project, so that staff can recommend that the Commission or the Board make the required Findings. Specific project Findings are shown on pages 18 – 20 and can be used as a guide for preparing your project description. (If you are applying for a Variance or Exception, please contact staff to discuss special requirements).*

Proposed project is located 1000', plus or minus, east of SR 99 Highway in a mixed land use environment along the north side of Taylor Road. The parcel is not within the primary or secondary sphere of influence of the City of Turlock, however is located within the "plan area" of the current Turlock General Plan. Land uses to the south include a gas station/mini mart, mini-storage and residential subdivisions, all within the City of Turlock limits. Areas to the west include open land and a bar/restaurant/motel. To the north we find orchards, single-family residences and a new car dealership. The site contains an almond orchard which has been in the Adams' ownership for 27 years. The orchard was re-planted 10 plus years ago with poor growth results due to the soil type (Dinuba Sandy Loam, DrA). The site is relatively flat with minimal slopes to accomodate irrigation. The site will be developed into a golf driving range with a single entry located approximately 500' west of Tegner Rd. Operating hours are as follows: Winter: 7 days a week, 8am-7pm, Spring/Summer: 7 days a week 8am-10 pm. Total full time employees would be 4. Maximum amount of customers would be 30 and a minimum of 10.

PROJECT SITE INFORMATION

Complete and accurate information saves time and is vital to project review and assessment. Please complete each section entirely. If a question is not applicable to your project, please indicated this to show that each question has been carefully considered. Contact the Planning & Community Development Department Staff, 1010 10th Street – 3rd Floor, (209) 525-6330, if you have any questions. Pre-application meetings are highly recommended.

ASSESSOR'S PARCEL NUMBER(S): Book 045 Page 053 Parcel 008

Additional parcel numbers: _____
Project Site Address _____
or Physical Location: _____

Property Area: Acres: 39.0 ac. or Square feet: 1,733,688

Current and Previous Land Use: (Explain existing and previous land use(s) of site for the last ten years)

Almond Orchard

List any known previous projects approved for this site, such as a Use Permit, Parcel Map, etc.: (Please identify project name, type of project, and date of approval)

n/a

Existing General Plan & Zoning: **AG/A-2-40**

Proposed General Plan & Zoning: **No Change**
(if applicable)

ADJACENT LAND USE: (Describe adjacent land uses within 1,320 feet (1/4 mile) and/or two parcels in each direction of the project site)

East: **Orchards, Single-Family Residences and Outbuildings.**

West: **Orchards, Bar/Restaurant/Motel, New Car Dealership, Highway 99**

North: **Orchards/Single-Family Residences/Outbuildings**

South: **Gas Station/Mini-Mart, Mini-storage; Open Land, Single Family Residential**

WILLIAMSON ACT CONTRACT:

Yes No

Is the property currently under a Williamson Act Contract?

Contract Number: _____

If yes, has a Notice of Non-Renewal been filed?

Date Filed: _____

Yes No

Do you propose to cancel any portion of the Contract?

Yes No

Are there any agriculture, conservation, open space or similar easements affecting the use of the project site. (Such easements do not include Williamson Act Contracts)

If yes, please list and provide a recorded copy: _____

SITE CHARACTERISTICS: (Check one or more)

Flat

Rolling

Steep

VEGETATION: What kind of plants are growing on your property? (Check one or more)

Field crops

Orchard

Pasture/Grassland

Scattered trees

Shrubs

Woodland

River/Riparian

Other

Explain Other: _____

Yes No

Do you plan to remove any trees? (If yes, please show location of trees planned for removal on plot plan and provide information regarding transplanting or replanting.)

GRADING:

Yes No

Do you plan to do any grading? (If yes, please indicate how many cubic yards and acres to be disturbed. Please show areas to be graded on plot plan.) **Exact yardage to be determined**

by a grading and drainage plan prepared by a civil engineer.

STREAMS, LAKES, & PONDS:

Yes No

Are there any streams, lakes, ponds or other watercourses on the property? (If yes, please show on plot plan)

Yes No

Will the project change any drainage patterns? (If yes, please explain – provide additional sheet if needed) _____

Yes No

Are there any gullies or areas of soil erosion? (If yes, please show on plot plan)

Yes No

Do you plan to grade, disturb, or in any way change swales, drainages, ditches, gullies, ponds, low lying areas, seeps, springs, streams, creeks, river banks, or other area on the site that carries or holds water for any amount of time during the year? (If yes, please show areas to be graded on plot plan)

Please note: If the answer above is yes, you may be required to obtain authorization from other agencies such as the Corps of Engineers or California Department of Fish and Game.

STRUCTURES:

- Yes No Are there structures on the site? (If yes, please show on plot plan. Show a relationship to property lines and other features of the site.)
- Yes No Will structures be moved or demolished? (If yes, indicate on plot plan.)
- Yes No Do you plan to build new structures? (If yes, show location and size on plot plan.)
- Yes No Are there buildings of possible Historical significance? (If yes, please explain and show location and size on plot plan.) _____

PROJECT SITE COVERAGE:

Existing Building Coverage: 1000 Sq. Ft. Landscaped Area: 5600 Sq. Ft.
 Proposed Building Coverage: 2000 Sq. Ft. Paved Surface Area: 50.000 Sq. Ft.

BUILDING CHARACTERISTICS:

Size of new structure(s) or building addition(s) in gross sq. ft.: (Provide additional sheets if necessary) 2000 Sq. Ft.
metal building to house the office, cashier, breakroom, ball dispenser and restroom.

Number of floors for each building: Single level.

Building height in feet (measured from ground to highest point): (Provide additional sheets if necessary) 20' to ridge
10' to eave

Height of other appurtenances, excluding buildings, measured from ground to highest point (i.e., antennas, mechanical equipment, light poles, etc.): (Provide additional sheets if necessary) Light poles: 20'; Ball net: 30'

Proposed surface material for parking area: (Provide information addressing dust control measures if non-asphalt/concrete material to be used) Asphalt Paving

UTILITIES AND IRRIGATION FACILITIES:

- Yes No Are there existing public or private utilities on the site? Includes telephone, power, water, etc. (If yes, show location and size on plot plan)

Who provides, or will provide the following services to the property?

Electrical: T.I.D. Sewer*: Measure X Septic System
 Telephone: AT&T Gas/Propane: J.S. West
 Water**: Private Well Irrigation: Sprinkler Irrigation

*Please Note: A "will serve" letter is required if the sewer service will be provided by City, Sanitary District, Community Services District, etc.

**Please Note: A "will serve" letter is required if the water source is a City, Irrigation District, Water District, etc., and the water purveyor may be required to provide verification through an Urban Water Management Plan that an adequate water supply exists to service your proposed development.

Will any special or unique sewage wastes be generated by this development other than that normally associated with resident or employee restrooms? Industrial, chemical, manufacturing, animal wastes? (Please describe:)

No

Please Note: Should any waste be generated by the proposed project other than that normally associated with a single family residence, it is likely that Waste Discharge Requirements will be required by the Regional Water Quality Control Board. Detailed descriptions of quantities, quality, treatment, and disposal may be required.

Yes No Are there existing irrigation, telephone, or power company easements on the property? (If yes, show location and size on plot plan.)

Yes No Do the existing utilities, including irrigation facilities, need to be moved? (If yes, show location and size on plot plan.)

Yes No Does the project require extension of utilities? (If yes, show location and size on plot plan.)

AFFORDABLE HOUSING/SENIOR:

Yes No Will the project include affordable or senior housing provisions? (If yes, please explain)

RESIDENTIAL PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Total No. Lots: _____ Total Dwelling Units: _____ Total Acreage: _____

Net Density per Acre: _____ Gross Density per Acre: _____

<i>(complete if applicable)</i>	Single Family	Two Family Duplex	Multi-Family Apartments	Multi-Family Condominium/Townhouse
Number of Units:	_____	_____	_____	_____
Acreage:	_____	_____	_____	_____

COMMERCIAL, INDUSTRIAL, MANUFACTURING, RETAIL, USE PERMIT, OR OTHER PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Square footage of each existing or proposed building(s): **1000 Sq. Ft., Existing; 2000 sq. ft. (new)**

Type of use(s): **1000 sq. ft. to be utilized as a maintenance building. 2000 sq. ft. to house the office, cashier, breakroom, restroom and ball dispenser.**

Days and hours of operation: Winter: 8am-7pm, Monday-Sunday Summer: 8am-10 pm, Monday-Sunday

Seasonal operation (i.e., packing shed, huller, etc.) months and hours of operation: _____

Occupancy/capacity of building: 6 people

Number of employees: (Maximum Shift): 4 (Minimum Shift): 2

Estimated number of daily customers/visitors on site at peak time: 25-30

Other occupants: n/a

Estimated number of truck deliveries/loadings per day: 2/day-UPS Style Vans

Estimated hours of truck deliveries/loadings per day: 10am-2pm

Estimated percentage of traffic to be generated by trucks: Less than 3%

Estimated number of railroad deliveries/loadings per day: n/a

Square footage of:
Office area: Entire Bldg: 2000 sq. ft. Warehouse area: 1000 sq. ft. - Existing
Sales area: _____ Storage area: _____
Loading area: _____ Manufacturing area: _____
Other: (explain type of area) _____

Yes No Will the proposed use involve toxic or hazardous materials or waste? (Please explain)

ROAD AND ACCESS INFORMATION:

What County road(s) will provide the project's main access? (Please show all existing and proposed driveways on the plot plan)
Taylor Road will provide the main access. Additional widening will be required. There will be a single entry ingress/egress drive constructed into this project (40' in width)

- Yes No Are there private or public road or access easements on the property now? (If yes, show location and size on plot plan)
- Yes No Do you require a private road or easement to access the property? (If yes, show location and size on plot plan)
- Yes No Do you require security gates and fencing on the access? (If yes, show location and size on plot plan)

Please Note: Parcels that do not front on a County-maintained road or require special access may require approval of an Exception to the Subdivision Ordinance. Please contact staff to determine if an exception is needed and to discuss the necessary Findings.

STORM DRAINAGE:

How will your project handle storm water runoff? (Check one) Drainage Basin Direct Discharge Overland

Other: (please explain) **The paved surface area will be drained by horizontal underground**

If direct discharge is proposed, what specific waterway are you proposing to discharge to? **perforated piping per City of Turlock Standard.**

Please Note: If direct discharge is proposed, you will be required to obtain a NPDES permit from the Regional Water Quality Control Board, and must provide evidence that you have contacted them regarding this proposal with your application.

EROSION CONTROL:

If you plan on grading any portion of the site, please provide a description of erosion control measures you propose to implement.

NPDES Standards will be adhered to along with an N.O.I., followed by a SWEPPS Plan.

Please note: You may be required to obtain an NPDES Storm Water Permit from the Regional Water Quality Control Board and prepare a Storm Water Pollution Prevention Plan.

ADDITIONAL INFORMATION:

Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. (Attach extra sheets if necessary)

Several high school golf teams in the vicinity of this project are forced to journey great distances to practice. The central location and proximity to 99 Highway make this an ideal location for this facility. This project is classified as a Tier 3 approved use subject to a conditional use permit.

FINDINGS STATEMENT
TO ACCOMPANY TIER 3 CONDITIONAL USE PERMIT
FOR
TURLOCK GOLF CENTER

1. **The use as proposed will not be substantially detrimental to or in conflict with agricultural use of other property in the vicinity, and**

Turlock Golf Center will not be substantially detrimental or in conflict with the agricultural use of other property in the vicinity of this proposal. The remaining 20, plus or minus, acres to the east of this project in the Adams ownership will remain in production. In addition, the Phase II portion of this request will remain in production until needed for expansion. The most intensive use of this site will occur on the front 200' of the site. The range portion will be turfed and mowed on a regular basis.

2. **The parcel on which such use requested is not located in one of the County's "most productive agricultural areas," as the term is used in the Agricultural Element of the General Plan; or the character of the use that is requested is such that the land may reasonably be returned to agricultural use in the future.**

The soil type classification is Dinuba Sandy Loam (DrA) with a moderate percolation rate combined with Dinuba Sandy Loam (DSA) which limits crops to those of a shallow root nature and has an imperfect drainage characteristic. The recommended uses include alfalfa, field crops, melons, vegetables and irrigated pasture. Due to the mixture of soil types the class ranges from II w-3 to Class IV s-3. These are soils which have some limitations that reduce the choice of plants, require some conservation practices to soils with very severe limitations that restrict the choice of plants, require very careful management or both. That said, the character of this use is such that the land may reasonable be returned to agricultural use in the future.

NOTE: Approval of this application is valid only if the following conditions are met. This permit shall expire unless activated within 18 months of the date of approval. In order to activate the permit, it must be signed by the applicant and one of the following actions must occur: (a) a valid building permit must be obtained to construct the necessary structures and appurtenances; or, (b) the property must be used for the purpose for which the permit is granted. (Stanislaus County Ordinance 21.104.030)

CONDITIONS OF APPROVAL

USE PERMIT APPLICATION NO. 2008-10 TURLOCK GOLF CENTER

Stanislaus County - Department of Planning & Community Development

1. This use is to be conducted as described in the application and supporting information (including the plot plan), as approved by the Stanislaus County Planning Commission and/or the Board of Supervisors and in accordance with other laws and ordinances.
2. All exterior lighting shall be designed (aimed down and toward the site) to provide adequate illumination without a glare effect. This shall include but not be limited to the use of shielded light fixtures to prevent skyglow (light spilling into the night sky) and the installation of shielded fixtures to prevent light trespass (glare and spill light that shines onto neighboring properties).
3. Any lighting used to illuminate the driving range, excluding security lighting, shall be turned off no later than 10:30 PM.
4. Construction of the project shall comply with standardized dust controls adopted by the San Joaquin Valley Air Pollution Control District.
5. During the construction phases of the project, if any human remains, significant or potentially unique are found, all construction activities in the area shall cease until a qualified archeologist can be consulted. Construction activities shall not resume in the area until an on-site archeological mitigation program has been approved by a qualified archeologist.
6. Prior to the occupancy of any building or operation of the approved use, the applicant shall meet all the requirements of the Stanislaus County Fire Prevention Bureau for on-site water storage.
7. A Certificate of Occupancy shall be obtained (if needed) from the Building Permits Division prior to occupancy of any structures
8. A plan for any proposed signs indicating the location, height, area of the sign, and message shall be approved by the Planning Director prior to installation.

9. Trash bins shall be kept in trash enclosures constructed of materials compatible with the architecture of the development. Trash enclosures shall be placed in locations as approved by the refuse collecting agency and the Planning Director.
10. Outside storage of materials and equipment shall be screened from view from the road by a sound screen fence of uniform construction as approved by the Planning Director.
11. A final landscape plan prepared in accordance with Section 21.102 of the Stanislaus County Zoning Ordinance and consistent with the alternative buffer requirements, shall be submitted prior to issuance of any building permit or approved use of the project site. Final plans shall be approved by the Planning Director or his appointed designee prior to the issuance of any building permit or approved use of the project site.
12. The applicant, or subsequent property owner, shall be responsible for maintaining landscape plants in a healthy and attractive condition. Dead or dying plants shall be replaced with materials of equal size and similar variety. All dead and dying trees planted on site as a part of the agricultural buffer alternative shall be replaced with new trees.
13. The developer shall pay all applicable Public Facilities Impact Fees and Fire Protection Development/Impact Fees as adopted by Resolution of the Board of Supervisors at the time of issuance of any building permits. For the Public Facilities Impact Fees, the fees shall be based on the Guidelines Concerning the Fee Payment Provisions established by County Ordinance C.S. 824 as approved by the County Board of Supervisors, and shall be payable at the time determined by the Department of Public Works.
14. Pursuant to Section 711.4 of the California Fish and Game Code (effective January 1, 2009), the applicant is required to pay a Department of Fish and Game filing fee at the time of recording a "Notice of Determination." Within five (5) days of approval of this project by the Planning Commission or Board of Supervisors, the applicant shall submit to the Department of Planning and Community Development a check for **\$2,050.00** made payable to **Stanislaus County**, for the payment of Fish and Game, and Clerk Recorder filing fees.

Pursuant to Section 711.4 (e)(3) of the California Fish and Game Code, no project shall be operative, vested, or final, nor shall local government permits for the project be valid, until the filing fees required pursuant to this section are paid.
15. The applicant is required to defend, indemnify, or hold harmless the County, its officers and employees from any claim, action, or proceedings against the County to set aside the approval of the project which is brought within the applicable statute of limitations. The County shall promptly notify the applicant of any claim, action, or proceeding to set aside the approval and shall cooperate fully in the defense.
16. Pursuant to Section 404 of the Clean Water Act, prior to construction, the developer shall be responsible for contacting the US Army Corps of Engineers to determine if any "wetlands," "waters of the United States," or other areas under the jurisdiction of the Corps of Engineers are present on the project site, and shall be responsible for obtaining all appropriate permits or authorizations from the Corps, including all necessary water quality certifications, if necessary.

17. Pursuant to Section 1600 and 1603 of the California Fish and Game Code, prior to construction, the developer shall be responsible for contacting the California Department of Fish and Game and shall be responsible for obtaining all appropriate stream-bed alteration agreements, permits or authorizations, if necessary.
18. Pursuant to State Water Resources Control Board Order 99-08-DWQ and National Pollutant Discharge Elimination System (NPDES) General Permit No. CAS000002, prior to construction, the developer shall be responsible for contacting the California Regional Water Quality Control Board to determine if a "Notice of Intent" is necessary, and shall prepare all appropriate documentation, including a Storm Water Pollution Prevention Plan (SWPPP). Once complete, and prior to construction, a copy of the SWPPP shall be submitted to the Stanislaus County Department of Public Works.
19. Pursuant to the federal and state Endangered Species Acts, prior to construction, the developer shall be responsible for contacting the US Fish and Wildlife Service and California Department of Fish and Game to determine if any special status plant or animal species are present on the project site, and shall be responsible for obtaining all appropriate permits or authorizations from these agencies, if necessary.
20. All businesses on site shall obtain and maintain a valid business license. Application may be made in the Planning Department (Section 6.04 of the Stanislaus County Ordinance Code).
21. The Department of Planning and Community Development shall record a Notice of Administrative Conditions and Restrictions with the County Recorder's Office within 30 days of project approval. The Notice includes: Conditions of Approval/Development Standards and Schedule; any adopted Mitigation Measures; and a project area map.

Stanislaus County - Building Permits Division

22. New developments shall comply with current adopted Title 24 California Building Codes.

Stanislaus County - Department of Environmental Resources (DER)

23. On-Site wastewater disposal system (OSWDS) shall be by individual Primary and Secondary wastewater treatment units, operated under conditions and guidelines by Measure X.
24. The engineered OSWDS design shall be designed for the maximum occupancy of a building and total fixture units proposed within the building. The leach field shall be designed and sized using data collected from soil profile and percolation tests performed at the location. The OSWDS designed system shall provide 100% expansion area.
25. Water supply for the project is defined by the State regulations as a public water system. Water system owner must submit plans for the water system construction or addition; and obtain approval from the Department of Environmental Resources (DER), prior to construction. Prior to final approval of the project, the owner must apply for and obtain a

Water Supply Permit from DER. "The Water Supply Permit Application must include a technical report, prepared by a qualified professional engineer, that demonstrates compliance with State regulations and include the technical, managerial and financial capabilities of the owner to operate a public water system." The water supply issuance is contingent upon the water system meeting construct standards, and providing water, which is of acceptable quantity and quality. Contact DER for the required submittal information.

26. If this project consists of a food facility, applicant must submit 3 sets of food facility construction plans to the Department of Environmental Resources for review and approval for compliance with the California Uniform Retail Food Facility Law (Section 27550).
27. The applicant shall determine, to the satisfaction of the Department of Environmental Resources (DER), that a site containing (or formerly containing) residences or farm buildings, or structures, has been fully investigated (via Phase I and II studies) prior to the issuance of a grading permit. Any discovery of underground storage tanks, former underground storage tank locations, buried chemicals, buried refuse, or contaminated soil shall be brought to the immediate attention of DER.
28. The applicant should contact the Department of Environmental Resources regarding appropriate permitting requirements for hazardous materials and/or wastes. Applicant and/or occupants handling hazardous materials or generating hazardous wastes must notify the Department of Environmental Resources relative to the following:
 - A. Permits for the underground storage of hazardous substances at new or the modification of an existing tank facilities.
 - B. Requirements for registering as a handler of hazardous materials in the County.
 - C. Submittal of hazardous materials Business Plan by handlers of materials in excess of 55 gallons or 500 pounds of a hazardous material or of 200 cubic feet of compressed gas.
 - D. The handling of acutely hazardous materials may require the preparation of a Risk Management Prevention Program that must be implemented prior to operation of the facility. The list of acutely hazardous materials can be found in SARA, Title III, Section 302.
 - E. Generators of hazardous waste must notify DER relative to the: (1) quantities of waste generated; (2) plans for reducing wastes generated; (3) proposed waste disposal practices.
 - F. Permits for the treatment of hazardous waste on-site will be required from the hazardous materials division.
 - G. Medical waste generated must complete and submit a questionnaire to the department for determination if they are regulated under the Medical Waste Management Act.

Stanislaus County - Fire Prevention Bureau

29. All buildings constructed shall comply with all applicable codes and ordinances, including fire apparatus access road standards, water for fire protection, etc.

30. All traffic signals installed and/or retrofitted due to the proposed project shall be provided with signal preemption.
31. All buildings 5,000 square feet and greater and/or containing five or more dwelling units shall be provided with an automatic fire sprinkler system.

Stanislaus County - Department of Public Works

32. Road right-of-way shall be deeded to the City of Turlock to provide 60 feet north of the right-of-way line for the Turlock Irrigation Lateral Number Three. The developer's engineer is responsible for preparing the Road Deed.
33. The owners shall dedicate a 10-foot wide public utility easement along the entire frontage of Taylor Road adjacent to the right-of-way line prior to the issuance of any building or grading permit.
34. If the existing metal building is in the area to be dedicated for right-of-way or the public utility easement, it shall be removed prior to the issuance of any building or grading permits.
35. A Grading and Drainage Plan shall be approved by the Department of Public Works prior to the issuance of any building permit. The drainage system shall be installed prior to final and/or occupancy of any building.
36. An erosion control plan shall be submitted that provides mitigation measures for erosion and sedimentation control. These measures shall prevent dirt from the project site from getting into the road right-of-way and the drainage system. The plan shall be implemented during all phases of development including grading and building construction. The plans shall also address long term mitigation measures.
37. A Grading Permit shall be obtained from the Department of Public Works prior to the start of importing, exporting, or otherwise moving any dirt.
38. Prior to the issuance of the Grading Permit or approving the improvement plans, the developer shall file a Notice of Intention with the California Regional Water Quality Control Board and a Waste Discharge Identification Number must be obtained and provided to the Department of Public Works.

Turlock Irrigation District (T.I.D.)

39. An irrigation pipeline belonging to Improvement District 161A, the Lower McHenry, runs from north to south at the approximate midpoint of the proposed project and along the easterly half of the north property line. A second irrigation pipeline belonging to Improvement District 957, the Patterson, runs through the southwest corner of the subject parcel. These pipelines must be upgraded to current District Standards along with the dedication of an appropriate irrigation easement.

40. It will be necessary for the developer to submit plans detailing the existing irrigation facilities, relative to the proposed site improvements, in order for the District to determine specific impacts and requirements.
41. Properties that will no longer irrigate or have direct access to water must request abandonment from the improvement district(s). Developed property adjoining irrigated ground must be graded so that finished grading elevations are at least 6 inches higher than irrigated ground. A protective berm must be installed to prevent irrigation water from reaching non-irrigated properties.
42. Any improvements to this property which impact irrigation facilities shall be subject to the District's approval and meet all District standards and specifications. If it is determined that irrigation facilities will be impacted, the applicant will need to provide irrigation improvement plans and enter into an Irrigation Improvements Agreement for the required irrigation facility modifications. There is a District Board approved time and material fee associated with this review.
43. If the pipeline is to be relocated in a new alignment, then irrigation improvement plans and an Irrigation Improvements Agreement for the impacted irrigation facility modifications must be executed before the District approves a final map.
44. In order for the District to accept the necessary easements, this statement should appear on the acceptance documents:

CERTIFICATE OF ACCEPTANCE

This is to certify that the interest in real property conveyed by this map to the Turlock Irrigation District, a governmental agency, and to the named improvement districts of the District (if any) are hereby accepted by the undersigned officer on behalf of the Board of Directors of the Turlock Irrigation District pursuant to authority conferred by turlock Irrigation Rule RL 0340.001 adopted on January 2, 1990 and revised December 18, 2001.

Dated this _____ day of _____, 2009

Wilton B. Fryer, P.E.
Civil Engineering Department Manager

*The final map signature block is as follows:
As to Irrigation Tax*

Mike Kavarian
Deputy Collector, Turlock Irrigation District

Date

45. The owner/developer must apply for a facility change for any pole or electrical facility relocation. Facility changes are preformed at developer's expense.

City of Turlock

46. Dedications shall be made per the City of Turlock General Plan designations. Taylor Road is currently designated a two-lane collector.
47. Due to the high speeds on Taylor Road, acceleration and deceleration lanes shall be installed.
48. A dedicated left-turn lane shall be installed for eastbound traffic to enter the facility from Taylor Road.
- ~~49. Improvements (curb, gutter, and streetlights) shall be installed along the entire frontage of the proposed golf center in accordance with the encroachment permit to be issued by the City of Turlock (see No. 51 below).~~
50. All design for the above improvements shall be in accordance with the City of Turlock Standard Specifications and Drawings, and shall coordinate with the City's intended improvements at the intersection of Taylor and Tegner Road.
51. The applicant shall be required to obtain an encroachment permit from the City of Turlock prior to the issuance of a building permit.
52. The County of Stanislaus will not issue a certificate of occupancy for the project until all work required under the encroachment permit from the City of Turlock is completed to the satisfaction of the City.
53. Prior to the issuance of an encroachment permit by the City of Turlock, the applicant shall execute and record **an a deferral** agreement with the City to install **improvement (curb, gutter, and streetlights) and** sidewalks in accordance with City of Turlock standards along the entire frontage of the property at a future date to be determined by the City.
54. Prior to the issuance of an encroachment permit by the City of Turlock, the applicant shall form a landscape and lighting district to mitigate landscape, street sweeping, street lighting and street maintenance costs.

*Please note: If Conditions of Approval/Development Standards are amended by the Planning Commission or Board of Supervisors, such amendments will be noted in the upper right-hand corner of the Conditions of Approval/Development Standards, new wording is in **bold**, and deleted wording will have a ~~line through it~~.*



Stanislaus County Planning and Community Development

1010 10th Street, Suite 3400
Modesto, California 95354

Phone: (209) 525-6330
Fax: (209) 525-5911

CEQA INITIAL STUDY

Adapted from CEQA Guidelines APPENDIX G Environmental Checklist Form, Final Text, October 26, 1998

1. **Project title:** Use Permit Application No. 2008-10 - Turlock Golf Center
2. **Lead agency name and address:** Stanislaus County
1010 10th Street, Suite 3400
Modesto, CA 95354
3. **Contact person and phone number:** Joshua Mann, Associate Planner
(209) 525-6330
4. **Project location:** North side of Taylor Road, east of Hwy 99 and west of Mountain View Road, in the Turlock area. (APN: 045-053-008)
5. **Project sponsor's name and address:** Dennis Wilson
Horizon Consulting
P.O. Box 1448
Modesto, CA 95353
6. **General plan designation:** Agriculture
7. **Zoning:** A-2-40 (General Agriculture)
8. **Description of project:**
Request to establish a golf driving range on a 39± acre site. The development will include the construction of a 1,000-square foot maintenance building, a 2,000-square foot office/pro-shop, and a covered tee area. Hours of operation will be 8 a.m to 7 p.m. (winter) and 8:00 a.m. to 10:00 p.m. (summer). Lighting will be provided in the parking area, driving range hitting area, and around the putting area and building facilities. The applicant is proposing the use of 30-foot high ball nets along the north, east, and south sides of the facility to protect the adjacent properties from golf balls. The site will be served by private on-site water and sewer.
9. **Surrounding land uses and setting:** Restaurant / Motel, Gas Station, mini-storage, agricultural land to the west, City of Turlock / residential subdivision to the south, and agriculture with scattered single-family dwellings to the north and east.
10. **Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement.):** Stanislaus County Public Works Department
Stanislaus County Department of Environmental Resources
California Department of Transportation (Caltrans)
City of Turlock


ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- Aesthetics
- Agriculture Resources
- Air Quality
- Biological Resources
- Cultural Resources
- Geology /Soils
- Hazards & Hazardous Materials
- Hydrology / Water Quality
- Land Use / Planning
- Mineral Resources
- Noise
- Population / Housing
- Public Services
- Recreation
- Transportation/Traffic
- Utilities / Service Systems
- Mandatory Findings of Significance

DETERMINATION: (To be completed by the Lead Agency)
On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or **NEGATIVE DECLARATION** pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or **NEGATIVE DECLARATION**, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


Signature

January 13, 2009
Date

Joshua Mann, Associate Planner
Printed name

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVII, “Earlier Analyses,” may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration.

Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:

- a) **Earlier Analysis Used.** Identify and state where they are available for review.
 - b) **Impacts Adequately Addressed.** Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) **Mitigation Measures.** For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
 - 7) **Supporting Information Sources:** A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
 - 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
 - 9) The explanation of each issue should identify:
 - a) the significant criteria or threshold, if any, used to evaluate each question; and
 - b) the mitigation measure identified, if any, to reduce the impact to less than significant.

ISSUES

I. AESTHETICS -- Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect on a scenic vista?				X
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X
c) Substantially degrade the existing visual character or quality of the site and its surroundings?				X
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			X	
<p>Discussion: The site itself is not considered to be a scenic resource or a unique scenic vista. The site currently consists of an almond orchard surrounded by similar agricultural uses to the north and east. The City of Turlock is to the south and within the city limits contains a gas station, mini storage facility and a residential subdivision. A total of two structures are being proposed as part of this request, a 1,000-square foot maintenance building and a 2,000-square foot office/pro-shop. Also included would be a roof-only, covered tee area. County standards generally do not dictate the need or desire for architectural review of new buildings. A Condition of Approval will be added to the project to require that outdoor lighting be aimed downward in order to address glare to surrounding areas.</p>				
<p>Mitigation: None.</p>				
<p>References: Stanislaus County General Plan and Support Documentation¹, Stanislaus County Zoning Ordinance, County policies, and staff experience.</p>				
II. AGRICULTURE RESOURCES -- In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?			X	
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?			X	
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?			X	
<p>Discussion: The project site lies outside the City of Turlock's Local Agency Formation Commission's (LAFCO) adopted Sphere of Influence and is not enrolled under a Williamson Act contract. The site consists of 39± acres currently planted in an almond orchard. The project site is bordered by agricultural uses to the north, east, and west. At present there is no indication that this project will impact existing agricultural activities in the area or result in conversion of farmland to non-agricultural use. Spraying activities on adjacent properties will be conditioned by the Agricultural Commissioners Office. The County also has a Right to Farm Ordinance in place to protect the agricultural users from unjust nuisance complaints.</p>				

The entire project site is classified as "Prime Farmland" by the California State Department of Conservation Farmland Mapping and Monitoring Program. There are two (2) types of soil on the subject parcel:

**Dinuba sandy loam, 0% to 1% Slopes, Index Rating of 77, and Grade of 2
Traver sandy loam, 0% to 1% Slopes, Index Rating of 60, and Grade of 2**

In December of 2007, Stanislaus County adopted an updated Agricultural Element which incorporated guidelines for the implementation of agricultural buffers applicable to new and expanding non-agricultural uses within or adjacent to the A-2 Zoning District. The purpose of these guidelines is to protect the long-term health of agriculture by minimizing conflicts such as spray drift and trespassing resulting from the interaction of agricultural and non-agricultural uses. These guidelines allow the Agricultural Advisory Board the opportunity to review & support the applicant's alternative to the buffer requirements. Alternatives may be approved provided the Planning Commission finds that the alternative provides equal or greater protection than the existing buffer standards. Current buffer guideline standards require a project to provide solid fencing and a double row of landscaping around the perimeter of the proposed operation.

On December 15, 2008, an alternative to the buffer requirements was presented to and approved by the Agricultural Advisory Board. The "People Intensive" area near the western property line would consist of a vegetative screen (double row of Redwood Trees) and solid wall along the western property line. The 300 foot buffer setback requirement would not be incorporated. The eastern side of the driving range would utilize the existing orchard on the eastern portion (20± acres) of the property to provide a "buffer" to the adjacent properties. The grass area of driving range along with a small portion of orchard (along the northern property line) would provide a buffer area for the north half of the property. If the orchard were to be removed, the proposal included the installation of a solid wall and a double row of redwoods trees.

Mitigation: None.

References: Stanislaus County Zoning Ordinance; California State Department of Conservation Farmland Mapping and Monitoring Program - Stanislaus County Farmland 2006, United States Department of Agriculture Soil Survey 1964 - Eastern Stanislaus Area, California., Stanislaus County General Plan and Support Documentation¹.

III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?				X
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?				X
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
d) Expose sensitive receptors to substantial pollutant concentrations?				X
e) Create objectionable odors affecting a substantial number of people?				X

Discussion: The project site is within the San Joaquin Valley Air Basin, which has been classified as "non-attainment" for ozone and respirable particulate matter (PM-10) as defined by the Federal Clean Air Act. The San Joaquin Valley Air Pollution Control District (SJVAPCD) has been established by the State in an effort to control and minimize air pollution. As such, the District maintains permit authority over stationary sources of pollutants.

Any pollutants generated by this project would be classified as being generated from "mobile" sources. Mobile sources would generally include dust from roads, farming, and automobile exhausts. Mobile sources are generally regulated by the Air Resources Board of the California EPA which sets emissions standards for vehicles, and acts on issues regarding cleaner burning fuels and alternative fuel technologies. As such, the SJVAPCD has addressed most criteria air pollutants through basin wide programs and policies to prevent cumulative deterioration of air quality within the basin. The project will be subject to compliance with all applicable district rules including, but not limited to, national emission standards for hazardous air pollution, fugitive PM-10 prohibitions, open burning, and nuisance. No response was received from the SJVAPCD addressing any future activities on the site that could contribute to the overall decline in air quality. Nevertheless, Staff will place Conditions of Approval on the project to insure compliance with the District's rules and regulations.

Mitigation: None.

References: San Joaquin Valley Air Pollution Control District - Regulation VIII Fugitive Dust/PM-10 Synopsis, Stanislaus County General Plan and Support Documentation¹.

IV. BIOLOGICAL RESOURCES -- Would the project:

Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
			X
			X
			X
			X
			X
			X

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?

c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

Discussion: There is no evidence to suggest this project would result in impacts to endangered species or habitats, locally designated species, or wildlife dispersal or mitigation corridors. There are no known sensitive or protected species or natural communities located on the site and/or in the surrounding area.

Mitigation: None.

References: Stanislaus County General Plan and Support Documentation¹, California Department of Fish and Game California Natural Diversity Database.

V. CULTURAL RESOURCES -- Would the project:				
	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?				X
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?				X
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?			X	
d) Disturb any human remains, including those interred outside of formal cemeteries?				X
<p>Discussion: Cultural resources are not known to exist on the project site. The site has been disturbed by previous farming operations in a manner equivalent to the proposed project. A standardized Condition of Approval will be added to this project to address any discovery of cultural resources during the construction phases.</p>				
<p>Mitigation: None.</p>				
<p>References: Stanislaus County General Plan and Support Documentation¹.</p>				
VI. GEOLOGY AND SOILS -- Would the project:				
	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				X
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.				X
ii) Strong seismic ground shaking?				X
iii) Seismic-related ground failure, including liquefaction?				X
iv) Landslides?				X
b) Result in substantial soil erosion or the loss of topsoil?				X
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?				X
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?				X

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				X
--	--	--	--	---

Discussion: As contained in Chapter 5 of the General Plan Support Documentation, the areas of the County subject to significant geologic hazard are located in the Diablo Range, west of Interstate 5. Any structures resulting from this project shall be built according to building standards appropriate to withstand shaking for the area in which they are constructed.

Mitigation: None.

References: Stanislaus County General Plan and Support Documentation¹.

VII. HAZARDS AND HAZARDOUS MATERIALS -- Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			X	
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X	
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				X
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				X
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X

Discussion: The County Department of Environmental Resources is responsible for overseeing hazardous materials and has not indicated any particular concerns in this area. Pesticide exposure is a risk in areas located in the vicinity of agriculture. Sources of exposure include contaminated groundwater which is consumed and drift from spray applications. Application of sprays is strictly controlled by the Agricultural Commissioner and can only be accomplished after first obtaining

permits. Spraying activities on adjacent properties will be conditioned by the Agricultural Commissioners Office. Furthermore, as discussed previously the project will incorporate landscaped buffers near and around the people-intensive area. The project site is not located within an airport land use plan or a wildlands area. The groundwater is not known to be contaminated in this area.

Mitigation: None.

References: Stanislaus County Department of Environmental Resources referral response - dated May 9, 2008, County Policies, Stanislaus County General Plan and Support Documentation¹.

VIII. HYDROLOGY AND WATER QUALITY -- Would the project:

	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements?			X	
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X	
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?			X	
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?			X	
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			X	
f) Otherwise substantially degrade water quality?			X	
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?				X
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
j) Inundation by seiche, tsunami, or mudflow?				X

Discussion: On-site areas subject to flooding have not been identified in accordance with the Federal Emergency Management Act and/or county designated flood areas. By virtue of paving for the building pad, parking lot and driveway, the current absorption patterns of water placed upon this property will be altered. The project has not yet developed plans to handle drainage on-site, but a Condition of Approval requiring a Grading and Storm Drainage Plan Permit will be added

to this project as required by the Public Works Department. A Condition of Approval will also be added to require the developer to file a Notice of Intent (NOI) with the California Regional Water Quality Control Board prior to issuance of the grading permit. This project has been referred to the Regional Water Quality Control Board, but no comments have been received.

Mitigation: None.

References: FEMA Flood Zone maps, Department of Public Works - referral response dated August 15, 2008, Stanislaus County General Plan and Support Documentation¹.

IX. LAND USE AND PLANNING -- Would the project:

Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
			X
		X	
			X

a) Physically divide an established community?

b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?

c) Conflict with any applicable habitat conservation plan or natural community conservation plan?

Discussion: The project site is designated Agriculture, zoned A-2-40 (General Agriculture) and located outside the LAFCO-adopted Sphere of Influence of the nearby City of Turlock. The proposed use is classified as a Tier Three use which may be permitted within the A-2 zoning district upon approval of a use permit. Tier Three uses are defined as not directly related to agriculture but may be necessary to serve the A-2 district or may be difficult to locate in the urban area. The ability to make the necessary findings for approval of the proposed use is viewed by staff as a land use policy issue as opposed to an environmental issue under the purview of CEQA. The proposed project will not conflict with any applicable habitat conservation plan or natural community conservation plan and will not physically divide an established community.

Mitigation: None.

References: Stanislaus County General Plan and Support Documentation¹.

X. MINERAL RESOURCES -- Would the project:

Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
			X
			X

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

Discussion: The locations of all commercially viable mineral resources in Stanislaus County have been mapped by the State Division of Mines and Geology in Special Report 173. There are no known significant resources in or around the project area.

Mitigation: None.

References: Stanislaus County General Plan and Support Documentation¹, State Division of Mines and Geology Special Report 173.

XI. NOISE -- Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?				X
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?			X	
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			X	
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				X
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The Stanislaus County General Plan identifies noise levels up to 60 dB L_{dn} (or CNEL) as the normally acceptable level of noise for new commercial/golf course type uses. Noise impacts associated with on-site activities and traffic are not anticipated to exceed the normally acceptable level of noise. The primary areas of on-site activities will be located to the southern portion of the site, which is adjacent to Taylor Road and across from a mixture of commercial and residential type uses. Noise impacts to residential uses in the area are anticipated to be less than significant considering the type of use being proposed and the existing noise sources in the area.</p>				
<p>Mitigation: None.</p>				
<p>References: Stanislaus County General Plan and Support Documentation¹, staff experience.</p>				
XII. POPULATION AND HOUSING -- Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X	
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X
<p>Discussion: The proposed use of the site will not create significant service extensions or new infrastructure that could be considered growth inducing. No housing or persons will be displaced by the project.</p>				

Mitigation: None.				
References: Stanislaus County General Plan and Support Documentation ¹ .				
XIII. PUBLIC SERVICES:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
Fire protection?			X	
Police protection?			X	
Schools?			X	
Parks?			X	
Other public facilities?			X	
Discussion: The County has adopted Public Facilities Fees, as well as one for the Fire Facility Fees on behalf of the appropriate fire district, to address impacts to public services. Such fees are required to be paid at the time of building permit issuance. Conditions of Approval will be added to this project to insure the proposed development complies with all applicable fire department standards with respect to access and water for fire protection.				
Mitigation: None.				
References: Stanislaus County General Plan and Support Documentation ¹ .				
XIV. RECREATION:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
Discussion: The proposed project is not anticipated to significantly increase demand on recreational facilities.				
Mitigation: None.				
References: Stanislaus County General Plan and Support Documentation ¹ .				

XV. TRANSPORTATION/TRAFFIC -- Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?			X	
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?			X	
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				X
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
e) Result in inadequate emergency access?				X
f) Result in inadequate parking capacity?				X
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?				X
<p>Discussion: Access to the project site will be provided via a single driveway off Taylor Road and on-site parking will be provided to county standards. The applicant has identified an average of 10-30 customers per day visiting the facility. The City of Turlock, the California State Department of Transportation (Caltrans) and the Stanislaus County Public Works Department have reviewed this project and determined that it will not create any significant traffic impact. Both Stanislaus County and the City of Turlock classify Taylor Road as a two lane collector with an "ultimate right-of-way" of 60 feet (currently 50 feet). Because the entire width of Taylor Road is within the City of Turlock city limits, the project will be required to obtain certain permits from the City when conducting work within the right-of-way. The City of Turlock has identified the need for an encroachment permit and right-of-way dedication (10 feet). As a condition of the City of Turlock's encroachment permit, the installation of curb, gutter, sidewalks, and streetlights will be required. The City of Turlock is also requiring the installation of acceleration/deceleration lanes to be installed and a dedicated left turn lane for eastbound traffic on Taylor Road.</p> <p>Caltrans responded that traffic impact fees should be collected for future improvements to the interchange at Taylor Road and Hwy 99. Staff asked that Caltrans provide specific amounts and to date, has not received any specific numbers regarding these fee amounts. If the actual amounts are received, they will be placed on the project's Conditions of Approval. Based on the project being proposed at this time, the project information provided, and the review by both Caltrans and Public Works it does not appear that the project will create a significant traffic impact.</p>				
<p>Mitigation: None.</p>				
<p>References: Caltrans referral response - dated May 12, 2008, Stanislaus County Department of Public Works referral response - dated August 15, 2008, City of Turlock referral response - dated December 11, 2008, Stanislaus County General Plan and Support Documentation¹.</p>				
XVI. UTILITIES AND SERVICE SYSTEMS -- Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				X

b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				X
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?				X
g) Comply with federal, state, and local statutes and regulations related to solid waste?				X

Discussion: Limitations on providing services have not been identified. The project will be served by private water well and septic. The water supply will be regulated as a public water system. Conditions of Approval will be added to the project to address necessary permits from the County Department of Environmental Resources. Conditions of Approval will also be added to require that a grading and drainage plan be approved by the Public Works Department. Less than significant impacts associated with public utility and irrigation easement(s) will be reflected in the project's Conditions of Approval.

Mitigation: None.

References: Public Works Department - referral response dated August 15, 2008, Department of Environmental Resources - referral response dated May 13, 2008, Stanislaus County General Plan and Support Documentation¹.



XVII. MANDATORY FINDINGS OF SIGNIFICANCE:	Potentially Significant Impact	Less Than Significant With Mitigation Included	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?			X	
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?			X	

<p>c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p>			<p>X</p>	
<p>Discussion: Review of this project has not indicated any feature(s) which might significantly impact the environmental quality of the site and/or adjacent areas. As such, all identified project-significant impacts have been mitigated to a level of less than significant.</p>				

¹Stanislaus County General Plan and Support Documentation adopted in October 1994, as amended. Optional and revised elements of the General Plan and Support Documentation: **Agricultural Element** adopted on December 18, 2007. **Housing Element** adopted on December 12, 2003, and certified by the California Department of Housing and Community Development Department on March 26, 2004. **Circulation Element** and **Noise Element** adopted on April 18, 2006.

NEGATIVE DECLARATION

NAME OF PROJECT: Use Permit Application No. 2008-10 - Turlock Golf Center

LOCATION OF PROJECT: North side of Taylor Road, east of Hwy 99 and west of Mountain View Road, in the Turlock area. (APN: 045-053-008)

PROJECT DEVELOPER: Dennis Wilson
Horizon Consulting
P.O. Box 1448
Modesto, CA 95353

DESCRIPTION OF PROJECT: Request to establish a golf driving range on a 39± acre site. The development will include the construction of a 1,000-square foot maintenance building, a 2,000-square foot office/pro-shop, and a covered tee area. Hours of operation will be 8 a.m to 7 p.m. (winter) and 8:00 a.m. to 10:00 p.m. (summer). Lighting will be provided in the parking area, driving range hitting area, and around the putting area and building facilities. The applicant is proposing the use of 30-foot high ball nets along the north, east, and south sides of the facility to protect the adjacent properties from golf balls. The site will be served by private on-site water and sewer.

Based upon the Initial Study, dated January 13, 2009 the County Planning Department finds as follows:

1. This project does not have the potential to degrade the quality of the environment, nor to curtail the diversity of the environment.
2. This project will not have a detrimental effect upon either short-term or long-term environmental goals.
3. This project will not have impacts which are individually limited but cumulatively considerable.
4. This project will not have environmental impacts which will cause substantial adverse effects upon human beings, either directly or indirectly.

The Initial Study and other environmental documents are available for public review at the Department of Planning and Community Development, 1010 10th Street, Suite 3400, Modesto, California.

Initial Study prepared by: Joshua Mann, Associate Planner

Submit comments to: Stanislaus County
Planning and Community Development Department
1010 10th Street, Suite 3400
Modesto, California 95354



DEBRA A. WHITMORE
DEPUTY DIRECTOR OF DEVELOPMENT SERVICES
dwhitmore@turlock.ca.us

DEVELOPMENT SERVICES
PLANNING DIVISION

156 S. BROADWAY, SUITE 120 | TURLOCK, CALIFORNIA 95380 | PHONE 209-668-5542 EXT 2218 | FAX 209-668-5107

December 11, 2008

Joshua Mann
1010 Tenth Street, Suite 3400
Modesto, CA 95354

JAN 08 2009

**SUBJECT: USE PERMIT APPLICATION NO. 2008-10 – TURLOCK GOLF CENTER
(REVISED CONDITIONS)**

Dear Mr. Mann:

Thank you for providing the City of Turlock an opportunity to comment on the proposed project.

PROJECT DESCRIPTION

Turlock Golf Center is proposing to establish a golf driving range on a 39+/- acre site. The development will include the construction of a 1,000 square foot maintenance building, the conversion of a 2,000 square foot dwelling to an office, and a covered tee area. Hours of operation will be 8 a.m. to 7 p.m. (winter) and 8:00 a.m. to 10 p.m. (summer). Lighting will be provided in the parking area, driving range hitting area, and around the putting area and building facilities. The applicant is proposing the use of 30-foot high ball nets along the north, east, and south sides of the facility to protect the adjacent properties from golf balls. The site will be served by private on-site water and sewer.

COMMENTS

The project falls outside the Sphere of Influence but within the General Plan boundary of the City of Turlock. At this location, the right-of-way for Taylor Road falls within the City Limits of the City of Turlock. An encroachment permit will be required prior to issuance of a building permit for this use. As the proposed project does not fall within the City's Sphere of Influence, the project is not subject to a consistency finding by the City under the City/County Third Mutual Support Agreement. The comments related to the design of the project are advisory with the exception of the comments provided by the Engineering Division requiring certain improvements to Taylor Road as the road right-of-way does fall within the City Limits. However, due to the close proximity of this project to the City Limits and neighboring residential development, the City has found that the project may have a significant effect on the environment, requiring further study and analysis by the County. As such, comments have been provided in three

categories: 1) potentially significant environmental effects; 2) Engineering Division comments; and 3) other advisory comments.

POTENTIALLY SIGNIFICANT ENVIRONMENTAL EFFECTS

1. The applicant proposes to install lighting in the parking area and driving range area. These lights have the potential to create an adverse visual impact on the adjacent residential neighborhoods located to the southeast of the proposed facility. The City requests the County require the preparation of a lighting study and plan prior to the issuance of a building permit to ensure that glare and light are directed toward the property and will not spill over to adjacent residential properties creating an adverse environmental impact.
2. The City of Turlock requests notification of businesses and residents within a ¼ mile of the property boundary.
3. The City of Turlock requests that the County add a condition prohibiting further subdivision of the property based upon boundary of the proposed use to avoid parcelization of land north of Taylor Road as this would encourage further conversion of agricultural land for non-agricultural uses.

ENGINEERING DIVISION COMMENTS (Please direct questions to Mike Pitcock, PE, City Engineer at 668-5599, ext. 4430.)

1. Dedications shall be made per the City of Turlock General Plan designations. Taylor Road is currently designated a two-lane collector.
2. Due to the high speeds on Taylor Road, acceleration and deceleration lanes shall be installed.
3. A dedicated left-turn lane shall be installed for eastbound traffic to enter the facility from Taylor Road.
4. Improvements (curb, gutter, and streetlights) shall be installed along the entire frontage of the proposed golf center in accordance with the encroachment permit to be issued by the City of Turlock (see #6 below).
5. All design for the above improvements shall be in accordance with the City of Turlock Standard Specifications and Drawings, and shall coordinate with the City's intended improvements at the intersection of Taylor and Tegner Road.
6. The applicant shall be required to obtain an encroachment permit from the City of Turlock prior to the issuance of a building permit.
7. The County of Stanislaus will not issue a certificate of occupancy for the project until all work required under the encroachment permit from the City of Turlock is completed to the satisfaction of the City.
8. Prior to the issuance of an encroachment permit by the City of Turlock, the applicant shall execute and record an agreement with the City to install sidewalks

in accordance with City of Turlock standards along the entire frontage of the property at a future date to be determined by the City.

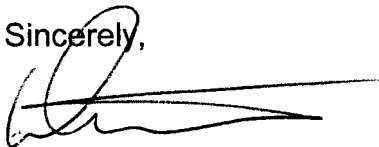
9. Prior to the issuance of an encroachment permit by the City of Turlock, the applicant shall form a landscape and lighting district to mitigate landscape, street sweeping, streetlighting and street maintenance costs.

OTHER COMMENTS (ADVISORY)

1. The City of Turlock requires a twenty (20') foot landscape setback for all parking areas fronting onto public right-of-way. A three-foot high landscaping screen (berms, shrubs, or fences) is required to screen the parking area from view. Landscaping should include a variety of trees, shrubs and groundcover. Parking lot shade trees are required at a rate of one per every five parking spaces. Interior landscaped areas are required to be a minimum of five feet in width with landscaped planters or sidewalk at the end of each aisle.
2. The City of Turlock requires stamped and colored concrete at the entry way to all commercial developments. Samples can be viewed in the Monte Vista Crossings shopping center to the south of this proposed project.
3. The City of Turlock requests that the County add a condition prohibiting the further development of the site to accommodate additional commercial uses of the property, such as a pro shop, restaurant or other commercial destination. Use of the 2,000 square foot office building to sell a limited set of golf accessories that directly relate to the driving range and pre-packaged food and drink items to serve the customers of the driving range, as described verbally by the applicant in a separate meeting with the City of Turlock, appears to be consistent with the project description; however, the City would prefer that the project description be modified to clearly describe the nature of commercial operations at the site and requests that a condition be placed on the project to specifically prohibit future expansion of the site for commercial development, as the County staff has expressed its support of the development because of the project's ability to revert back to agricultural use.

Please contact me if you have any questions regarding these comments at (209) 668-5542 x2218.

Sincerely,



Debra A. Whitmore
Deputy Director of Development Services (Planning)



December 15th, 2008

MEMO TO: Ag Advisory Committee

FROM: Department of Planning and Community Development

SUBJECT: USE PERMIT NO. 2008-10 TURLOCK GOLF CENTER - ALTERNATIVE TO THE AGRICULTURAL STANDARDS

The Stanislaus County Department of Planning and Community Development has received an application to establish a Golf Driving Range on the western half of a 39+/- acre site, located on Taylor Road in the Turlock area. The applicant has proposed an alternative to the Agricultural buffer standards which requests a reduced setback and alternative vegetative screen. The applicant's proposal and the County's Buffer and Setback Guidelines are outlined below:

Stanislaus County Buffer & Setback Guidelines Requirements

- Projects which propose people intensive outdoor activities, such as the proposed driving range, shall incorporate a minimum 300-foot wide buffer.
- The buffer shall incorporate vegetative screen consisting of two staggered rows of trees and shrubs along any portion of a buffer where the project site and the adjoining agricultural operation share a common parcel line.

Applicant's Proposal

- The applicant is proposing to utilize the existing orchard on eastern portion (20+/- acres) of the property to provide a "buffer" to the adjacent properties.
- The "People Intensive" area near the western property line would consist of a vegetative screen and fencing, consistent with the County's Buffer Guidelines and would extend from the parking lot to the tee area. The 300' buffer setback requirement would not be incorporated.
- The grass area of driving range along with a small portion of orchard (along the northern property line) would provide a buffer area for the north half of the property.

Area of Concern

With the applicants proposal, the area of concern would be along the western property line which would allow "people intensive" areas to be put in place directly at the property line, within the 300' buffer area.

**UP 2008-10
TURLOCK GOLF CENTER
ALTERNATIVE BUFFER**

**300 FT BUFFER
ZONE**

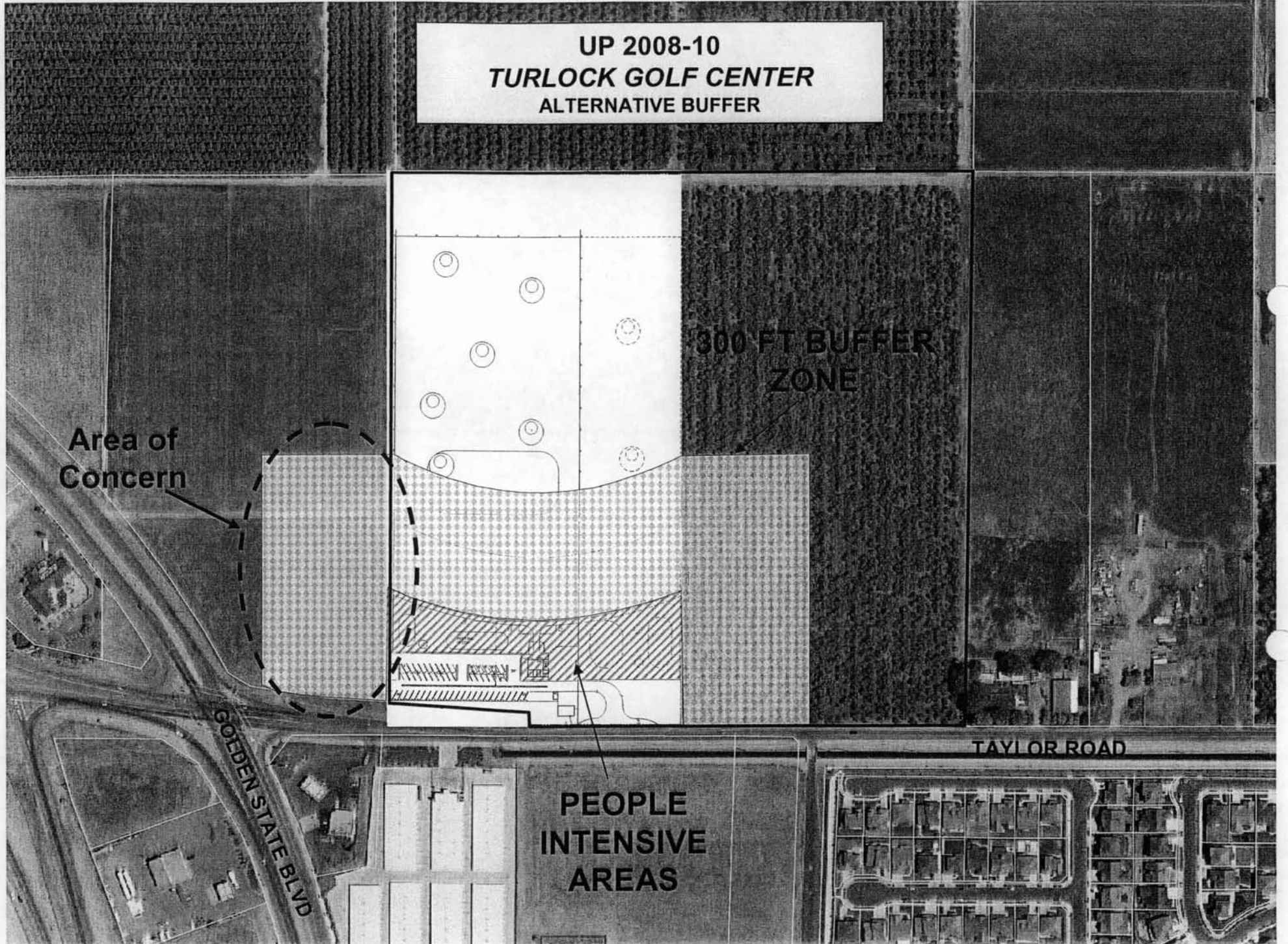
**Area of
Concern**

**PEOPLE
INTENSIVE
AREAS**

TAYLOR ROAD

GOLDEN STATE BLVD

58



Applicant's Proposed Alternative

BUFFER AND SETBACK DESIGN STANDARDS FOR TURLOCK GOLF CENTER

The proposal for the Turlock Golf Center is located within an A-2-40 zone and its use is permitted subject to approval of a use permit under the tier three guidelines as outlined in Section 21.20.030 2.o of the county zoning ordinance.

The recently adopted agricultural element (Chapter 7) to the General Plan provides for mitigation measures (buffers) to minimize conflicts between farm and non-farm uses (primarily urban residents). This proposal is located immediately north of the City of Turlock urban limits and primary sphere of influence (see attached site plan and vicinity map) along the north side of Taylor Road approximately 330' west of the Tegner Road intersection. The project is intended to be developed in 2 phases on 20 plus or minus acres. The land is currently planted to almonds in their 10th leaf and was re-planted by the current landowner who has had the property for 27 years. Due to the proximity of urbanized uses (residential and commercial directly to the south) spray restrictions and dust limit normal farming practices. Had the new AG Element been in place prior to urbanization of the area south of Taylor Road a 300' buffer would have been required.

Appendix "A" of the AG Element provides for buffer and setback guidelines for new or expanding non-agricultural uses. This site is located approximately 500' east of the Highway 99/Taylor Road interchange and is surrounded by a mixture of ag and non-ag uses. The two parcels to the west are designated Planned Development in the City of Turlock General Plan. The parcels are currently fallow and awaiting some type of highway commercial proposal similar to that Pachett's Ford Dealership to the north and on the east side of Golden State Boulevard. The west side of Golden State Boulevard north of Taylor Road contains a bar/restaurant/motel complex and vacant land. The land to the south houses an AM-PM Mini Mart/gas station, a mini-storage complex, vacant land and single-family homes all within the city limits of Turlock. The applicant owns the adjacent 20 acres to the east of this proposal and is also planted to almonds in their 15th leaf. The land to the north consists of almond orchards, open land and single-family homesites facing Barnhart Road.

A close examination of the proposed site plan reveals the people intensive portion of the project is concentrated in the southerly 275'. This provides for well over 1000' separation from the parcels to the north. The fallow lands to the west are also buffered by tree planting and fencing as required by the "buffer design standards for new non-agricultural uses" in the areas where people will be present. There will not be any buildings within 150' of any adjoining property in the A-2 zoning district in compliance with the buffer setback guidelines.

We firmly believe that the proposed project meets with and exceeds the buffer setback design standards in the AG Element. We respectfully request an audience before the agricultural advisory board to seek their input and approval.



**AGRICULTURAL COMMISSIONER'S OFFICE AND
SEALER OF WEIGHTS & MEASURES**

Gary Caseri
Agricultural Commissioner/Sealer

3800 Cornucopia Way, Suite B
Modesto, California 95358
Phone: 209.525.4730 Fax: 209.525.4790

Agricultural Advisory Board

MINUTES

Monday, December 15, 2008
Fruit Yard Restaurant
7948 Yosemite Blvd

Committee Members Present:

Chris Hempleman	Rowe Barney	Alan Cover
John Herlihy	Ed Perry	
Norman Kline	Lisa Alamo	

Committee Members Absent:

John Azevedo	Bridget Riddle	Ray Prock, Jr.
Wayne Zipser	Richard Gibson	

Ex-Officio:

Supervisor Jim DeMartini (Alternate) – Absent
Gary Caseri, Ag Commissioner – Present

Others Present:

Cynthia Darmstandler, Ag Comm Office
Angela Freitas, Stan Co. Planning
Chris Hartley, Natural Res. Cons. Service
Denny Hoeh, Ag Comm Office
Joshua Mann, Stan. Co. Planning
Raul Mendez, Chief Executive Office
Milton O'Haire, Ag Comm Office
Tom Orvis, Stanislaus Farm Bureau
Dennis Wilson, Planning Consultant

I. PLEDGE OF ALLEGIANCE TO THE FLAG

II. PUBLIC COMMENT PERIOD
There was no public comment.

III. APPROVAL OF MINUTES FROM NOVEMBER 3, 2008 MEETING

It was M/S/P that the minutes from the November 3, 2008 meeting be approved.

IV. ALTERNATIVE AGRICULTURAL BUFFERS

Angela Freitas distributed a map/site plan for a golf driving range on a 40-acre parcel on Taylor Road, east of the 99 freeway. The applicant has proposed an alternative to the Agricultural buffer standards; a reduced setback and an alternative vegetative screen. The project will possibly impact one neighboring property, currently in winter oats, for pesticide applications.

Gary Caseri stated that the project creates another hurdle for ag operations to jump through and asked if the alternative buffer will provide equal to or greater protection? Dennis Wilson, of Horizon Consulting, representing the applicant, stated that a double row of redwoods were proposed as an alternative for the west and north sides of the project. Gary commented that it sounds as if this project will not adversely impact the ag operations but would be yet another concern to add to their decision process.

It was noted that the Planning Commission is the decision making body on this application but it must be supported by the Ag Advisory Board as well. Norman Kline voiced that the project should move forward.

It was M/S/P (6 – Yes; 1 – Oppose) that the project move forward.

V. REVIEW OF 2008

John Herlihy mentioned that the Ag Advisory Board had tackled a number of issues in 2008. The Truck Parking on Ag Land issue is still in progress as is the Tertiary Wastewater study recommendation. The Tertiary Wastewater subcommittee planned to meet on January 9th at 10:00 a.m. John mentioned as an aside, that he recently learned that wastewater is the third largest water source into the ocean. Tom Orvis reported that on January 28th, the annual AgVenture program in San Joaquin County for 3rd graders will be taking place.

VI. NEXT MEETING

A. Meeting Date/Time:

The next scheduled meeting is **Monday, February 2, 2008 at 10:00 a.m.**
at the Stanislaus County Ag Center, Conference Room H/I

B. Agenda Items

- ✓ Tertiary Wastewater Report
- ✓ Truck Parking on Ag Lands

Please contact John Herlihy, Gary Caseri or Cynthia Darmstandler with items you wish placed on the agenda.

VII. ADJOURNMENT

John Herlihy adjourned the meeting.

Minutes Respectfully
Submitted,



Cynthia Darmstandler
Confidential Assistant IV
Stanislaus County

SUMMARY OF RESPONSES FOR ENVIRONMENTAL REVIEW REFERRALS
PROJECT: USE PERMIT APPLICATION NO. 2008-10 TURLOCK GOLF CENTER

REFERRED TO:	RESPONDED			RESPONSE			MITIGATION MEASURES		Conditions		
	DATE: April 24 th , 2008	PUBLIC HEARING NOTICE	YES	NO	WILL NOT HAVE SIGNIFICANT IMPACT	MAY HAVE SIGNIFICANT IMPACT	NO COMMENT NON CEQA	YES	NO	YES	No
AGRICULTURE COMMISSIONER	X			X							
AIRPORT LAND USE COMMISSION	X			X							
BUILDING PERMITS DIVISION	X		X		X				X	X	
CA DEPT OF FORESTRY											
CALTRANS DISTRICT 10	X	X	X		X				X		X
CENTRAL CALIF. INFO. CENTER - CSUS											
CITY OF											
COMMUNITY SERVICES/SANITARY											
CORPS OF ENGINEERS											
COUNTY COUNSEL	X			X							
DENAIR POSTMASTER											
DEPARTMENT OF CONSERVATION	X			X							
ENVIRONMENTAL RESOURCES	X		X		X				X		X
FIRE PROTECTION DIST: WEST STAN	X	X		X							
STANISLAUS FIRE PREVENTION BUREAU	X	X	X		X				X	X	
FISH & GAME	X	X		X							
HOSPITAL DISTRICT: WESTSIDE ZONE 1	X	X		X							
IRRIGATION DISTRICT:											
LAFCO	X			X							
MOSQUITO DISTRICT: TURLOCK	X	X		X							
MOUNTAIN VALLEY EMERGENCY MEDICAL	X	X		X							
MUNICIPAL ADVISORY COUNCIL:											
PARKS & FACILITIES	X			X							
P.G. & E.	X	X		X							
PUBLIC WORKS	X		X		X						
PUBLIC WORKS - TRANSIT	X			X							
REDEVELOPMENT											
REGIONAL WATER QUALITY	X	X		X							
StanCOG	X	X		X							
SCHOOL DISTRICT 1: Newman-Crows Land'	X	X		X							
SCHOOL DISTRICT 2:											
SHERIFF	X		X		X				X		X
STANISLAUS COUNTY FARM BUREAU	X	X		X							
STANISLAUS ERC	X		X		X				X		X
STATE CLEARINGHOUSE											
STATE LANDS BOARD											
SUPERVISORIAL DISTRICT 5: DeMARTINI	X			X							
TELEPHONE COMPANY: AT&T	X	X		X							
TUOLUMNE RIVER PRESERVATION TRUST											
US FISH & WILDLIFE	X	X		X							
US MILITARY 4 AGENCIES (SB 1462)											
VALLEY AIR DISTRICT	X	X		X							
WATER DISTRICT: DEL PUERTO	X	X		X							
DEPT. OF WATER RESOURCES											

- C. **USE PERMIT APPLICATION NO. 2008-10 - TURLOCK GOLF CENTER** - Request to establish a golf driving range on a 39± acre parcel in the A-2-40 (General Agriculture) zoning district, designated as Agriculture in the County General Plan. The development will include the construction of a 1,000 square foot maintenance building, a 2,000 square foot office/pro-shop, and a covered tee area. The project is located on the north side of Taylor Road, east of Highway 99 and west of Mountain View Road, in the Turlock area. A CEQA Negative Declaration will be considered on this project.

APN: 045-053-008

Staff Report: Joshua Mann Recommends **DENIAL**.

Public hearing opened.

OPPOSITION OF DENIAL: Dennis Wilson, 909 14th Street, Shane Balfour; Henry Solario, 1500 Del Monte

IN FAVOR OF DENIAL: Phil Mouzes, 3436 W. Barnhart

Public hearing closed.

Poore/DeLaMare, 5-1 (Assali), **APPROVED THE PROJECT BY TAKING ACTIONS 1-5 AS OUTLINED IN THE STAFF REPORT, PAGE 8, SUBJECT TO ALL CONDITIONS OF APPROVAL WITH THE EXCEPTION OF DELETED CONDITION OF APPROVAL NO. 49:**

~~49. Improvements (curb, gutter, and streetlights) shall be installed along the entire frontage of the proposed golf center in accordance with the encroachment permit to be issued by the City of Turlock (see No. 51 below).~~

AND AMENDED CONDITION OF APPROVAL NO. 53 TO READ:

53. Prior to the issuance of an encroachment permit by the City of Turlock, the applicant shall execute and record ~~an~~ a **deferral** agreement with the City to install **improvement (curb, gutter, and streetlights) and** sidewalks in accordance with City of Turlock standards along the entire frontage of the property at a future date to be determined by the City.

<p style="text-align: center;">EXCERPT</p> <p style="text-align: center;">PLANNING COMMISSION</p> <p style="text-align: center;">MINUTES</p> <p style="text-align: center;"></p> <hr/> <p style="text-align: center;">Secretary, Planning Commission</p> <p style="text-align: center;"></p> <hr/> <p style="text-align: center;">Date</p>



Turlock Unified School District

Ed Felt
Deputy Superintendent
Educational Services

P.O. Box 819013 · Turlock, CA 95381-9013 · Ph. (209) 634-0843 · Fax (209) 667-6520

March 12, 2009

Stanislaus County Planning Commission
1010 10th Street, Conference Room 301
Modesto, CA 95355

Dear Planning Commissioners;

Please accept this letter of support for the proposed "Turlock Golf/Driving Range" to be located near the intersection of North Golden State Blvd. and Taylor Road.

I have been a resident of Turlock since 1983. During this time I have served on the City of Turlock's Recreation and Planning Commissions. I believe the greater Turlock area residents would be very pleased to see the addition of a recreational facility like this proposed golf practice center. A community of over 70,000 residents could enjoy an outdoor, recreational type facility that would promote a life-long sport, create a pleasant venue for exercise, and provide a golf center in close proximity to our city limits. This facility could be considered a "green" business both aesthetically and with the service it provides.

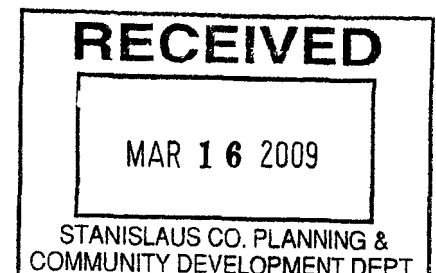
As an administrator in the Turlock Unified School District, I believe our students would benefit from this golf center. Our golf teams could practice here and other students could simply enjoy a sporting activity and exercise. As a "weekend golfer" I would be very excited about the possibility of making a very short drive to this location to practice my very improvable skills.

Thank you for accepting my letter of support for the proposed "Turlock Golf/Driving Range" facility.

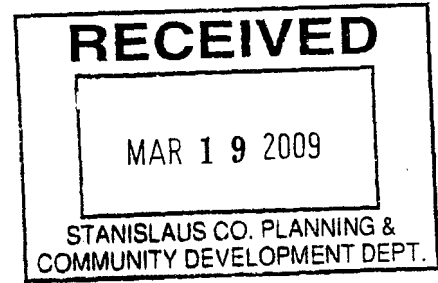
Sincerely,

Ed Felt
Deputy Superintendent, Educational Services

EF:cgf



ATTACHMENT 4



March 11, 2009

To Whom It May Concern:

Turlock is a great place to live and raise a family. It has a variety of recreational places that people can go to. There is an opportunity for young athletes to play youth football, youth soccer, youth baseball, dance, and play at the park. Turlock also has a number of health clubs, places to walk and ride a bike. All in which are safe environments for families.

Having these facilities and programs is a great thing for young athletes and adults, but there is something missing. Turlock does not have a public facility where people can play golf. With the exception of Turlock Country Club, which is a private facility, the nearest golf facility is 15 to 20 minutes away.

As a high school golf coach, there is a large number of student athletes from all ages that would pursue the game of golf if they had a facility they could go to, but most of them cannot get transportation to the facilities in the area.

With the number of people that play the game of golf and the number of people picking the game up for the first time is on the rise, having a local golf facility would not only benefit from the large number of people in Turlock who would use it, but also people living in surrounding towns as well as helping the local economy.

Having a golf facility in Turlock would be a great opportunity for people who want to work on their game, people who want to pick the game up for the first time, a place where student athletes have an opportunity to get better, and improve the local economy

Sincerely,

Matt Jeans
Pitman High School
Head Golf Coach

THIRD AMENDED MUTUAL SUPPORT AGREEMENT

THIS AGREEMENT, made and entered into in the County of Stanislaus, State of California, as of this 19th day of July, 1994, is by and between the City of Turlock, hereinafter called CITY, and the County of Stanislaus, hereinafter called COUNTY; and amends the Second Amended Mutual Support Agreement between the County and the City entered into on the 24th day of November, 1987. This Third Amended Agreement expressly recognizes, ratifies and reaffirms that the terms expressed herein are and have been binding and continually in effect as of July 1, 1991, for the term of this Agreement.

WITNESSETH

WHEREAS, the COUNTY and CITY agree that modification of this mutual support agreement addressing several outstanding issues relating to land use policies and other related matters is in the best interests of both public entities; and

WHEREAS, CITIES and COUNTY wish to maintain effective community planning and to address the need to ease some of the uncompensated financial burdens which can be attributed to the impact that growth has on County Public Facilities on a long term basis; and,

WHEREAS, there is a direct nexus and reasonable relationship between growth within the CITY and its impact on COUNTY services including, but not limited to, criminal justice, jails and County-wide Sheriff services, health and social services,

public works, libraries, hospital, public parks and recreation, environmental resources and air quality within the entire COUNTY; and,

WHEREAS, there is a direct nexus and reasonable relationship that growth, in the unincorporated area of the COUNTY that lies within the CITY'S Spheres of Influence, has on CITY'S public services including but not limited to traffic and circulation; and,

WHEREAS, urban development within the unincorporated area within the Spheres of Influence as that term is defined in Government Code Section 56076 of the CITY by the COUNTY may affect the ability of the CITY to adequately plan for orderly development within the CITY'S Spheres of Influence and may affect the ability of each CITY to collect Public Facilities Fees to provide necessary capital improvements necessitated by CITY growth as it expands into its Sphere of Influence; and,

WHEREAS, the continuing effort of this Third Amended Mutual Support Agreement will continue to allow the inevitable growth of the population and economy to occur consistent with sound fiscal and land use policy which is in the interest of the COUNTY and the CITY; and,

WHEREAS, the financial viability of the CITY and COUNTY are directly linked and that reaching a consensus on how to balance land use and fiscal policies is in the best interest of both agencies; and,

WHEREAS, the COUNTY has adopted appropriate "Public Facility" fees pursuant to California Government Code Section 66000 et seq. for the purpose of deferring all or a portion of the cost

of "Public Facilities" which are related to "development projects" as defined in California Government Code Section 66000. Terms used in this Agreement shall be defined consistent with the definitions set forth in Title 7, Division 1, Chapter 5, of the California Government Code, commencing with Section 66000. CITY may adopt such fees and amend such fees in the future; and,

WHEREAS, CITY agrees to adopt by resolution the county-wide Public Facility Fees that have been adopted by the County and to impose a condition on all maps that requires the payment of the county-wide Public Facility Fee that is in place at the time of building permit issuance by the CITY and CITY agrees to collect the COUNTY'S Public Facility Fee at the time of issuance of building permit(s); and,

WHEREAS, COUNTY has taken action necessary to insure that the CITY'S determination as to the type of and the timing of discretionary urban projects, within CITY'S Spheres of Influence will be respected; and,

WHEREAS, the COUNTY and CITY agree that the collecting party will be allowed to retain one percent (1%) of the total amount of the Public Facility Fees collected for the other party in order to cover the cost of collection. This amount shall be reviewed and adjusted to insure adequate compensation for the cost of collection.

NOW, THEREFORE, the parties hereto agree as follows:

1. CITY agrees:

a. To adopt by resolution the county-wide Public Facility Fees that have been adopted by the County and impose a condition on all maps requiring the payment of the county-wide

Public Facility Fee in effect at the time of building permit issuance and to impose and collect the COUNTY'S Public Facility Fees and, to forward the fee proceeds to the COUNTY on a fiscal year quarterly basis.

b. To immediately dismiss with prejudice Stanislaus County Superior Court case No. 301599, City of Turlock v. County of Stanislaus, et al., Patchetts Motor, Inc., and C. Kenneth Sanders and to not oppose future development projects between Keyes Road and Taylor Road as identified in Exhibit "A," attached hereto and incorporated by reference.

c. To make Taylor Road the northern most boundary of the CITY unless the COUNTY consents to additional expansion beyond that point

2. COUNTY agrees:

a. To adopt and impose as a condition on all maps requiring the payment of the CITY Sphere fee in effect at the time of building permit issuance and collect the CITY'S Public Facilities Fees that have been or may be adopted by the CITY that can be attributed to "development projects" occurring outside the CITY'S boundary within the CITY'S LAFCO approved Sphere of Influence; and to forward the fee proceeds to the CITY on a fiscal year quarterly basis.

b. To continue the General Plan policy that: (1) prohibits discretionary urban development within the LAFCO approved Sphere of Influence of CITY other than development allowed in the COUNTY A-2 zone, (2) only allows for commercial or residential development in areas that are served by Public sewer and water within the LAFCO approved Sphere of Influence of CITY unless

expressly approved by both the CITY and COUNTY. The purpose of the County General Plan policy is to defer discretionary urban development within CITY'S Sphere of Influence until the area is annexed to the CITY and can be served by city services. The County General Plan policy is based upon the desire of both the COUNTY and CITY to promote and encourage orderly growth within the LAFCO approved Sphere of Influence of the CITY that is compatible with the CITY'S future development of their Sphere of Influence. The existing General Plan policy described above shall remain in effect only so long as this Agreement remains in full force and effect.

c. To not approve commercial development along Geer Road one-half mile north of Taylor Road without CITY'S consent.

d. To transfer to TURLOCK in annual installments over a five-year period the sum of \$240,895.00.

e. To not oppose expansion of CITY'S request(s) before LAFCO of their Sphere of Influence to the west of Highway 99 into the "Northwest Triangle Specific Plan area" which is identified in Exhibit "B" which is incorporated herein.

3. CITY and COUNTY mutually agree:

a. To adopt and collect the Public Facility Fees of the other party described in paragraphs (1)(a) and (2)(a) above. If the collecting party's authority for adopting and collecting the other party's fees is formally challenged in a court of law, the other party shall indemnify, defend and hold harmless the other party from all liabilities, claims, demands, losses, damages or costs including attorney's fees, caused by, arising out of, or in any way connected, directly or indirectly to any and all action undertaken by the other party pursuant to the terms of this

Agreement.

b. That the collecting party will be allowed to retain one percent (1%) of the total amount of the Public Facilities Fees collected for the other party in order to cover the cost of administration and collection. This amount shall be periodically reviewed and may be adjusted to insure that it is adequate to cover the cost of the service provided.

c. To exchange staff expertise, services, and technology for the implementation of this Agreement.

d. To share in policy decisions regarding land use and economic development.

e. To continue the coordination of public works projects to take advantage of the opportunities for joint planning and the execution of infrastructure improvement projects.

f. That they will continue to cooperate and participate in the prioritization of street projects administered through SAAG that are to be funded from Public Facility Fees which are collected by CITY and COUNTY for street and highway improvements.

g. To work jointly to develop the Washington Road Expressway.

h. To work jointly to provide sewer collection capability to the Keyes industrial area.

i. To cooperate with one another to insure the successful consummation of the actions contemplated by this agreement, and each will take all actions within its authority to insure cooperation of its officials, officers, agents and employees.

j. That the terms of this Agreement shall commence upon the date of approval by CITY and COUNTY and continue through June 30, 1999. This Agreement shall be automatically extended for subsequent five (5)-year periods, except that either party may cancel the extension of this Agreement by giving six (6) months' written notice during the period between July 1, and September 1, of the year prior to that year in which the Agreement is scheduled to expire.

k. In the event any provision of this Agreement shall be held to be inconsistent with state law or invalid or unenforceable by a court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provision herein.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on the day and year first written above.

ATTEST:

Clerk of the City of
Turlock, State of California

By Phinda Greenlee
Clerk

City of Turlock, A
Municipal Corporation

By [Signature]
Mayor

ATTEST:

REAGAN M. WILSON, Clerk of
the Board of Supervisors of
the County of Stanislaus,
State of California

By [Signature]
Christine Ferraro
Clerk to the Board

County of Stanislaus, A
Body Corporate and Public

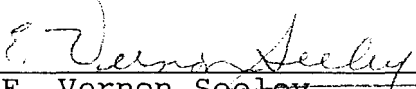
By [Signature]
Ray Simon, Chairman
Stanislaus County
Board of Supervisors

APPROVED AS TO FORM:



Richard Burton
Turlock City Attorney

APPROVED AS TO FORM:



E. Vernon Seeley
Assistant County Counsel

EXHIBIT "A"

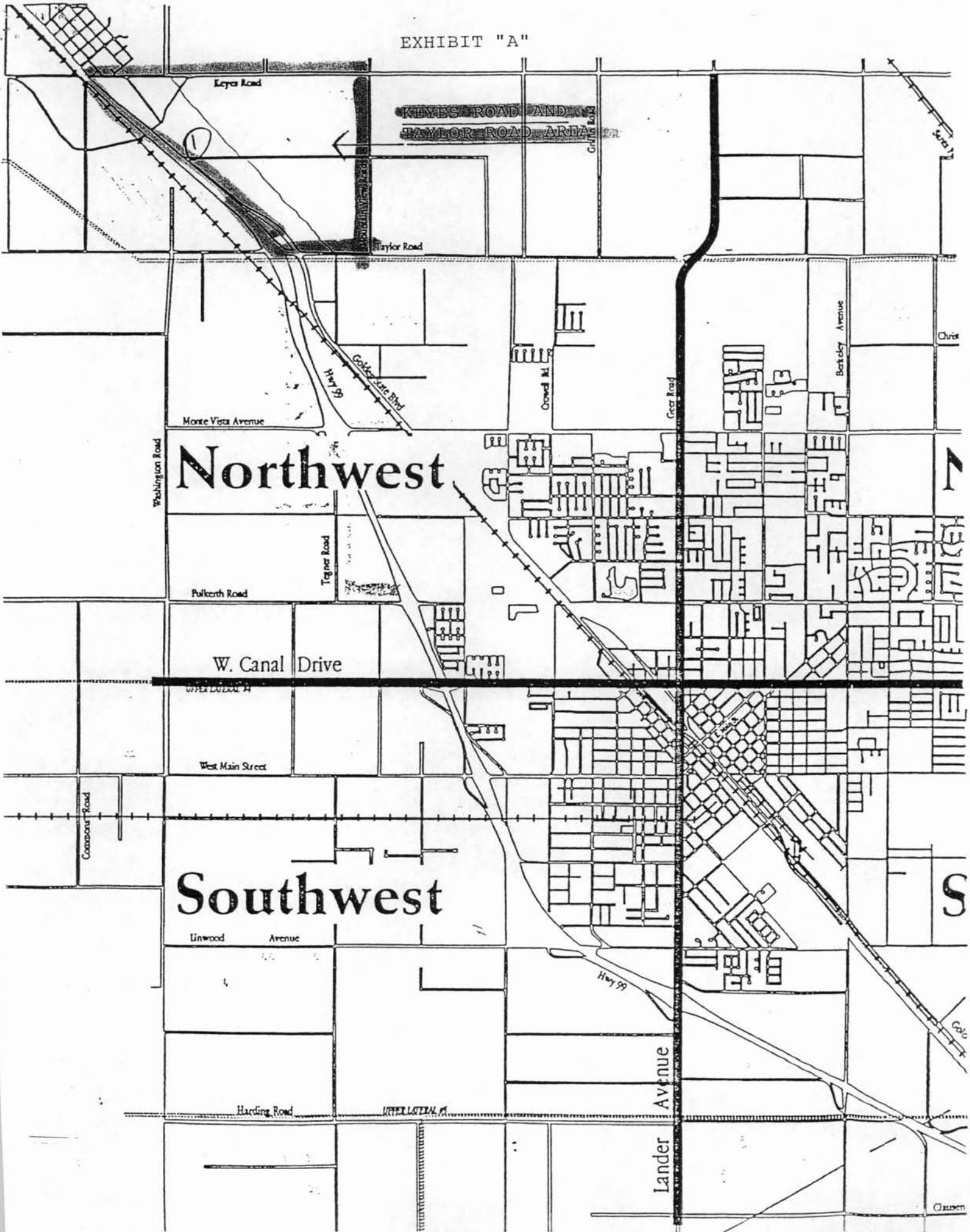
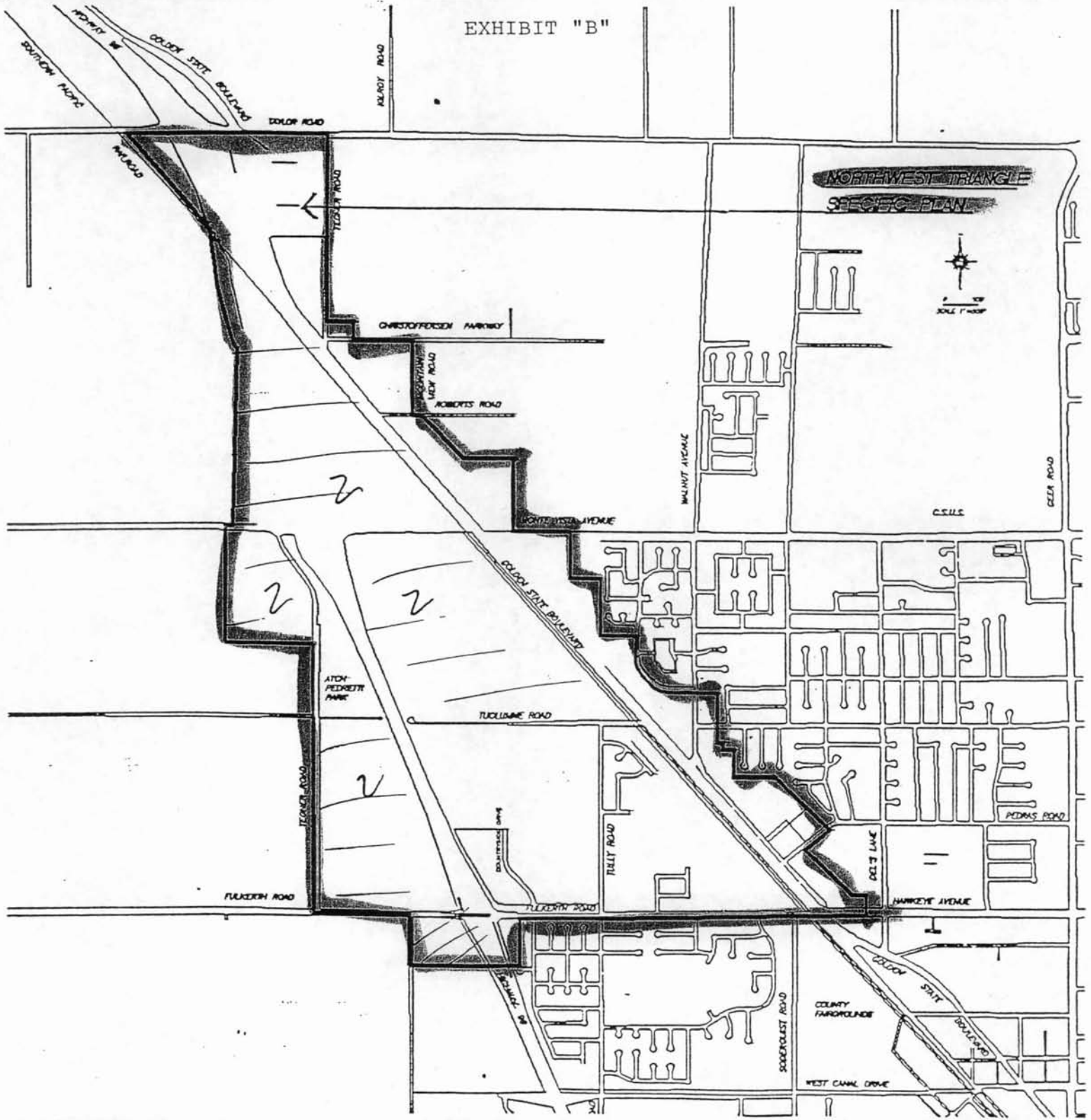


EXHIBIT "B"



NORTHWEST TRIANGLE
SECTION 31



Z
Z
Z

COUNTY FARMHOUSE

FURKERTH ROAD

WEST CANAL DRIVE

SODDQUEST ROAD

COLSON STREET
SODDQUEST

HAWKEYE AVENUE

LAKE
E.D.D.

PEDRAS ROAD

TULLY ROAD

TULLY ROAD

DELAWARE DRIVE

TULLOHANE ROAD

ATON-PEDRETT PARK

JEANETTE ROAD

CONTESSA AVENUE

ROBERTS ROAD

CHRYSTIAN VIEW ROAD

CHRISTOFFERSEN PARKWAY

WALNUT AVENUE

DEER ROAD

C.S.U.S.

WALNUT
SODDQUEST

GOLDEN STATE BOULEVARD

DOLOR ROAD

READY ROAD

BEFORE THE CITY COUNCIL OF THE CITY OF TURLOCK

IN THE MATTER OF AUTHORIZING THE
MAYOR TO ENTER INTO AND EXECUTE
A THIRD AMENDED MUTUAL SUPPORT
AGREEMENT WITH THE COUNTY OF
STANISLAUS

RESOLUTION NO. 94-182

WHEREAS, the City of Turlock and the County of Stanislaus have adopted a Mutual Support Agreement; and

WHEREAS, the Mutual Support Agreement has been amended previously; and

WHEREAS, the Third Amended Agreement addresses several outstanding issues relating to land use policies and other connected matters.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Turlock that the Mayor is hereby authorized and directed to execute the attached Third Amended Mutual Support Agreement, which is incorporated in this Resolution as though set forth in full.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Turlock this 9th day of August, 1994, by the following roll call vote:

AYES: Councilmembers Ratto, Lazar, Palmberg, Hillberg and Mayor Andre

NOES: None

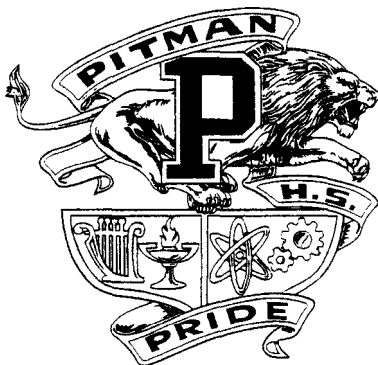
ABSTAIN: None

ABSENT: None

ATTEST:

Rhonda Greenlee

Rhonda Greenlee, City Clerk,
City of Turlock, County of
Stanislaus, State of California



Pitman High School

CALIFORNIA DISTINGUISHED SCHOOL

Stanislaus County Planning Commission
1010 10th St.
Conference Room 301
Modesto, CA. 95355

To Whom It May Concern:

I am proffering this correspondence in support of the proposed driving range/practice center to be located at the Northeast corner of Golden State Blvd. and Taylor Road in Turlock. I was recently apprised of the projected facility by Mr. Shane Balfour who shared with me his involvement in the project.

I have known Shane for the better part of the past two decades and cannot think of a knowledgeable, dedicated and personable professional more qualified to manage such a much needed facility. The City of Turlock and the surrounding community have long needed a complex of this nature to meet the needs of an ever expanding population of golfers and young people looking for a "Fitness for Life" activity.

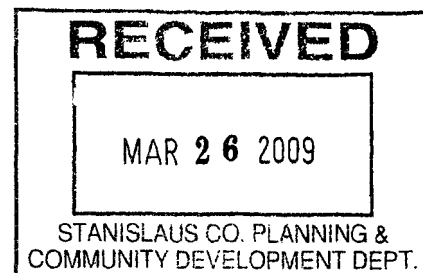
The members of the Pitman High School community would certainly welcome the presence of a practice facility in such close proximity to the campus. Members of both the girls' and boys' golf teams would frequent the range and practice areas on virtually a daily basis. The athletes would literally be less than a half mile's walk away (a brisk warm up). Our physical education staff is enthusiastically awaiting word that the project is getting the go ahead so they can begin plans for accessing the center during certain periods of the school day with beginning golf classes.

Word of the possibility the center is in the planning stages has spread across the campus with faculty and staff joining students in discussing no end of potential fund raisers and/or faculty and staff tournaments. Locating a driving range/practice center in the community of Turlock is long overdue. Considering the location, established ownership, outstanding experienced management, need and customer base, the potential for success is a veritable guarantee. All of us at Pitman heartily endorse and enthusiastically support the proposed project.

If you have any questions and/or need for clarification, please do not hesitate to contact me at (209) 656-1592 anytime daily between the hours of 7:30 am and 4:30 pm.

Respectfully,

Rod Hollars, Principal



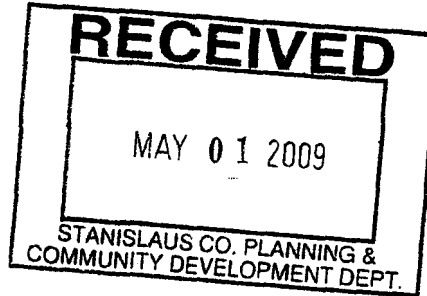
From: <missteri59@aol.com>
To: <ObrienW@StanCounty.com>, <Grover@StanCounty.com>, <MonteithD@StanCounty...>
Date: 4/13/2009 1:05 PM
Subject: Appeal of Use Permit 2008-10 Turlock Golf Center.

Dear Stanislaus County Board of Supervisors,

I am one of several neighbors who is appealing the decision of the Stanislaus County Planning Commissioners to allow a golf driving range on Taylor Road in Turlock. We live and or farm land adjacent to this proposed project. We strongly feel this will transform our normal farming operations throughout the year. This is a farming community acting as the buffer between Turlock and Keyes. We would like to see it stay that way.

Please consider our farming as our sole income, whereas golf as fun as it may be; it is for leisure and rarely someone's source of income. We hope to meet you and discuss this in depth at the May 5th public hearing.

Thank you.
?
Teri Nascimento
209-632-9462



BOARD OF SUPERVISORS
2009 APR 30 1 P 3:22

May 7, 2009

BOARD OF SUPERVISORS

2009 MAY -8 P 2:22

Dear Supervisor Chiesa,

I read in the Bee that on May 21st the board will be hearing an appeal of the Planning Commission's approval of a driving range to be located within county jurisdiction, adjacent to the City of Turlock, near the corners of Taylor Road and Golden State Blvd. Unfortunately, I will be out of state on that date so cannot speak to the item at the meeting. However, I am hopeful you will carry forward the information contained in this letter to the board at the appropriate time during the agenda.

First, let me state, I am not opposed to a driving range. In fact, my husband cannot play enough golf and I cannot play well enough! The focus of my comments, then, is not on the use itself, but rather on the location of the proposal.

As you and your colleagues consider this project, I think it is helpful to look at past efforts regarding establishment and preservation of the northern agricultural buffer. Initially championed by Supervisor Rolland Starn, the buffer is viewed as a definitive method to a) visually delineate the end of urban development, b) protect agricultural operations, c) curb urban annexation to the north d) honor individual community identities, and e) ensure viability of reinvestment in agriculture.

During the nineties, as city and county staff and elected officials deliberated on establishing this buffer, they worked diligently with property owners on the county side of Taylor Road. Understandably, land owners wanted assurances that if they invested in agricultural improvements, policymakers would stand firm on preserving the agricultural nature of the area. While it was made clear there was no legal contract forbidding urban development, the city and county's intent was reinforced through a verbal agreement. Further, the city and county agreed on and implemented a number of actions to promote the urban boundary and agricultural buffer.

1. Taylor Road would not be upgraded to an expressway.
2. The city would upgrade to espressways several internal roadways moving traffic east/west within the city, thereby helping preserve the rural character of Taylor Rd.
3. The city would visually end the urban line with fencing, landscaping, and other decorative treatments.
4. The city would promote installation of a walking/bicycle path along Taylor Road as part of the circulation plan for the perimeter of the city.

5. The city would close a number of north/south access roads, limiting urban access points to Taylor Road.
6. The city would not pursue urban development on Geer Road north of Taylor Road.
7. If development consistent with agricultural zoning was proposed for within the buffer, the county would consult with the city to assure both agencies were in agreement on its suitability, understanding, of course, the county had the decision-making authority.

Revisiting discussions and agreements that were foundational to the present boundary and buffer, it is clear why landowners would be concerned about the proposal before you. All actions during the past decade and a half have supported the current condition and verbal agreement. It is my hope this understanding and your subsequent decisions will ensure the urban boundary and agricultural viability remain intact.

Thank you for your consideration of my comments.

Sincerely,

Carolyn Lott

Former Councilmember, City of Turlock



STANISLAUS
COUNTY
FARM
BUREAU

MICHEL A. ETCHEBARNE, PH.D.
PRESIDENT

WAYNE ZIPSER
EXECUTIVE MANAGER

1201 L Street
Modesto, CA 95354
Phone: (209) 522-7278
Fax: (209) 521-9938

Info@stanfarmbureau.org

SERVING
AGRICULTURE
SINCE
1914

May 8, 2009

The Honorable Jim DeMartini, Chairman
Stanislaus County Board of Supervisors
1010 Tenth Street, Suite 6500
Modesto, CA 95354

RECEIVED

MAY 08 2009

STANISLAUS CO. PLANNING &
COMMUNITY DEVELOPMENT DEPT.

RE: Turlock Golf Center – OPPOSE Planning Commission Approval

Dear Chairman DeMartini,

The Stanislaus County Farm Bureau Board of Directors **OPPOSES** Use Permit 2008-10 for the proposed Turlock Golf Center to be located on Taylor Road east of Golden State Boulevard in Turlock.

The proposed project is a permitted use according to Stanislaus County Code 21.20.030 (C)(o) which defines uses requiring a use permit in the Agriculture zone. The precedent of such facilities in the Agriculture zone is not new, but is it prudent planning and effective long-term economic development?

The City of Turlock has long-established that their General Plan boundary and Sphere of influence stops on the South side of Taylor Road. By approving this project, the door for leap-frog development will be opened by Stanislaus County and eventually municipalities will request annexation of such properties to protect their economic and development interests. Political will is only as good as the current City Council or Board of Supervisors whose members hold such ideals.

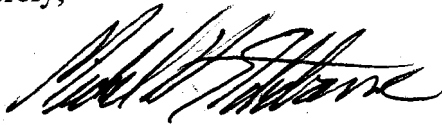
Farmers and ranchers are under continuous regulatory and public scrutiny every time we use widely accepted farming practices. Each day our farmers and ranchers often face challenges when they want to expand their agricultural operations, even in the Agriculture zone. This is one of the major reasons that Stanislaus County Farm Bureau participated so heavily in the creation of the Right-to-Farm Ordinance in 1991 and the Ag Element as amended in 2007.

As you are aware, farming can be time-sensitive and does not always agree with a non-ag business hours of operation.

Our greatest concern is the continuous exposure of active agricultural operations to people-intensive activities on properties adjoining farmland. All adjoining properties to this proposed facility are actively being farmed, including properties designated for future Planned Development.

This project is not an agricultural operation but it is being proposed in an Agricultural zone. We encourage the Board of Supervisors to overturn the Planning Commission's approval of Use Permit 2008-10 for the proposed Turlock Golf Center. Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Mich Etchebarne", written in a cursive style.

Mich Etchebarne
President

CC: Supervisor Vito Chiesa
Supervisor Jeff Grover
Supervisor Dick Monteith
Supervisor Bill O'Brien
Kirk Ford, Director, Community Development Department



HORIZON CONSULTING SERVICES
 POST OFFICE BOX 1448
 MODESTO, CA 95353
 Phone: (209) 491-7620
 Fax: (209) 491-7626

TRANSMITTAL:

To: STANISLAUS COUNTY
 CLERK OF THE BOARD OF
 SUPERVISORS
 Phone: _____
 From: DENNIS WILSON
 Date: 5.13.09
 FAX: "HAND DELIVERED"
 # of Pages: _____

Roy A. Galli
 R.C.E. 16.024
 Dennis E. Wilson
 Planning Consultant
 P.O. Box 1448
 Modesto, California
 95353
 phone 209.491.7620
 fax. 209.491.7626

Re: TURLOCK GOLF DRIVING
 RANGE

- Urgent
- As Requested
- For Review & Comment
- Recycle
- For Your Use
- Make Revisions Noted
- Resubmit
- Follow Up
- Please Return
- No Response Needed
- For Approval
- Original Will Not Follow

MESSAGE: PLEASE INCLUDE THE FOLLOWING ITEMS IN SUPERVISORS PACKETS AS WELL AS THE CEO, CLERK OF THE BOARD AND COUNTY COUNSEL: 1) 8 COPIES OF CHRIS BRITTON LETTER; 2) MATT JEANS LETTER; 3) ED FELT LETTER; 4) GARY AUSTIN LETTER; 4) ROD HOLLARS LETTER; 5) DR. JIM HANNY LETTER; 6) WILLIAM WEBER LETTER; 7) SHANE BALFOUR PETION & 8) FRED ADAMS PETITION

THANK YOU, Dennis E. Wilson



MODESTO, CA

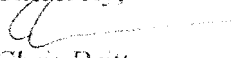
To Stanislaus County Supervisors:

By way of introduction my name is Chris Britton and I'm a partner in a 4th generation family farming operation in Stanislaus County. I'm writing to express my **support** for the proposed Turlock driving range due to come before the supervisors.

As residents of Stanislaus County and the greater Central Valley we are all lucky to be able to drive 10 minutes in almost any direction and be in the middle of agriculture and to seemingly get lost in the beauty of the bloom or harvest. We could even be accused of taking this privilege for granted occasionally! I applaud the county leadership and it's willingness to mitigate unnecessary loss of farm ground while balancing the needs of the greater community. There are some however, who would have us believe that the loss of farmland can't be good for the community – *sometimes* they are right. "Leapfrog development" with a lack of planning and infrastructure can be disastrous for both farmer and community. The proposed driving range however would seem to benefit both farmer and community. The landowner can pursue a potential greater source of revenue than currently experiencing. The community is provided a safe, affordable place of entertainment - one that is currently unavailable to many of the residents in the southern part of our county. And all this can be done without completely eliminating the possibility of farming this parcel in the future!

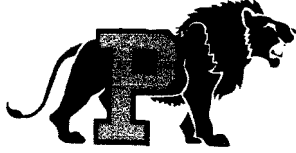
I urge the board of supervisors to consider voting **yes** to the construction of the driving range in Turlock.

Sincerely,


Chris Britton
Partner

2009 MAY 13 PM 4:42

OFFICE OF SUPERVISOR



Pitman High School

*2525 W. Christoffersen Parkway /
Turlock, CA 95382*

*Phone: (209) 656-5192 / Fax: (209) 656-
1639*

Rod Hollars, Principal

May 12, 2009

To the County Board of Supervisors,

I am writing to you concerning the matter of the proposed Driving Range on Taylor Rd. in Turlock. A facility like this would bring many benefits to the community of Turlock. It would provide an opportunity for youth programs, which develop character traits and social skills through the game of golf. It would allow members of the community the opportunity to practice without having to travel to other towns. As former golf coach at Pitman High School it would be a great benefit to have a complete practice facility close to campus for high school kids, on the team and trying to make the team, to practice and get quality instruction. As a parent of a student that will be attending Pitman next year that hopes to make the team, being able to practice close to campus would allow for a regular practice schedule.

This facility will benefit the youth of Turlock, high school kids, and members of the community.

Thank you,

Gary Austin
Pitman High School
Math Teacher

2009 MAY 12 11:40 AM
COUNTY CLERK
COUNTY OF CALIFORNIA

Pitman High



Stanislaus County Board of Supervisors
1010 10th St.
Conference Room 301
Modesto, CA. 95355

To Whom It May Concern:

I am proffering this correspondence in support of the proposed driving range/practice center to be located at the Northeast corner of Golden State Blvd. and Taylor Road in Turlock. I was recently apprised of the projected facility by Mr. Shane Balfour who shared with me his involvement in the project.

I have known Shane for the better part of the past two decades and cannot think of a knowledgeable, dedicated and personable professional more qualified to manage such a much needed facility. The City of Turlock and the surrounding community have long needed a complex of this nature to meet the needs of an ever expanding population of golfers and young people looking for a "Fitness for Life" activity.

The members of the Pitman High School community would certainly welcome the presence of a practice facility in such close proximity to the campus. Members of both the girls' and boys' golf teams would frequent the range and practice areas on virtually a daily basis. The athletes would literally be less than a half mile's walk away (a brisk warm up). Our physical education staff is enthusiastically awaiting word that the project is getting the go ahead so they can begin plans for accessing the center during certain periods of the school day with beginning golf classes.

Word of the possibility the center is in the planning stages has spread across the campus with faculty and staff joining students in discussing no end of potential fund raisers and/or faculty and staff tournaments. Locating a driving range/practice center in the community of Turlock is long overdue. Considering the location, established ownership, outstanding experienced management, need and customer base, the potential for success is a veritable guarantee. All of us at Pitman heartily endorse and enthusiastically support the proposed project.

If you have any questions and/or need for clarification, please do not hesitate to contact me at (209) 656-1592 anytime daily between the hours of 7:30 am and 4:30 pm.

Respectfully,

Rod Hollars, Principal

DATE: May 9, 2009

TO: Stanislaus County Board of Supervisors

FROM: Dr. Jim Hanny, Retired Golf Coach
California State University, Stanislaus

RE: Proposed Golf Driving Range Center

I am writing this letter in favor of building the proposed Turlock Golf Center that has been approved by the Planning Commission.

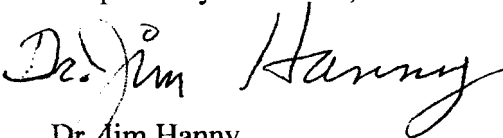
I personally think this would be a tremendous asset to Turlock and the surrounding areas. Golf is a game for all ages, especially young people, as there is no convenient place for the young aspiring golfers to go at this time. This driving range would be very useful not only to juniors but to others who enjoy the game of golf. This would be a safe and wholesome environment for juniors with the opportunity to mingle with adults and other juniors.

This driving range would not only provide golf but would inspire etiquette and ethics which applies not only to golf but in all parts of life.

I was looking forward to speaking at the scheduled May 5th Stanislaus County Board of Supervisors public hearing, but unfortunately I am out of town May 19th for the rescheduled hearing.

I encourage you to support this golf center as Turlock desperately needs recreational activities.

Respectfully submitted,


Dr. Jim Hanny



2009 MAY 13 1P 44:43

BOARD OF SUPERVISORS

Memo

Date: May 12, 2009

To: Shane Balfour

Re: Local golf driving range in Turlock

Mr. Balfour:

Please be advised I support a local golf driving range in Turlock.

As a local teaching tennis pro, I have personally witnessed the benefits to our youth of having an "individual" sports outlet for kids. We need an after school "hang out" for our youth that is supervised and offers them an opportunity to learn life skills through sport. Golf and tennis both offer these skills.

We need an outlet for our youth to participate and learn a "non-team" sport such as golf or tennis. Not every child will flourish in the traditional team sport like football, baseball, basketball, volleyball, softball, or soccer. We must have other choices for these children.

It is my understanding we have two high school golf teams in Turlock as well as a Division II college team at CSUS Stanislaus with no local training facility.

Currently it is very inconvenient for a child or our adult population to learn and/or practice the game of golf in Turlock. They must either be a member of a private Country Club or travel to facilities out of town to participate. It is my understanding our local Turlock High School Golf team travels to Stevinson to practice!

Again, I want to offer my support for a local Turlock golf driving range for our citizens.

Sincerely,

William Weber
2491 Colorado Ave, Turlock, CA 95382
209-604-2455

William Weber

Digitally signed by William Weber
DN: cn=William Weber, c=US, o=Premier Tennis,
ou=PTI, email=willwoo7@charter.net
Reason: I am the author of this document
Location: Turlock, CA
Date: 2009.05.12 21:42:18 -0700

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
HOUDA ATU	1131 BURMAN ST	<i>[Signature]</i>
Chris Beuley	2660 chateaufort ci	<i>[Signature]</i>
Tony Polow	1890 Montreux way	<i>[Signature]</i>
Sharylne Polow	1890 Montreux way	<i>[Signature]</i>
Rob Komar Piro	4263 Yonan Ct	<i>[Signature]</i>
Rob Earnest	1504 Wildtree Ln ^{TIK}	<i>[Signature]</i>
Rosie Earnest	1504 Wildtree TIK	<i>[Signature]</i>
Ardenis Piro	4263 Yonan Ct Turlock CA 95322	<i>[Signature]</i>
ED VARD ESQ	2620 chateaufort ci.	<i>[Signature]</i>
D. HANSON	2404 Brickburg st.	<i>[Signature]</i>
Jean Machado	4417 Mt Bullion Road	<i>[Signature]</i>
Courtney Machado	4417 Mt Bullion	<i>[Signature]</i>

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
DAN AVILA	2525 EMEAD WAY ^{TURLOCK}	Dan Avila SB
DEWEY BANKSON	9380 Rochelle Ave.	Dewey Bankson SB
SAM GARDANI	2371 LYNN BOURSH CT ^{TURLOCK}	Sam Gardani SB
ROY GARDANI	2371 LYNN BOURSH CT ^{TURLOCK}	Roy Gardani SB
SHERRY BATHFON	2400 SEBASTIAN DR.	Sherry Bathfon
JUANITA BATHFON	"	Juanita Bathfon
Jim Hanney	225 SAILOR LANE TURLOCK	Dr Jim Hanney SB
Doris Hanney	" "	Doris Hanney SB
Ken Lowe	1624 Smith Ave. Modesto	Ken Lowe SB
Jenny Falk	ZINFANDEL	Jenny Falk SB
Alex Duran	"	Alex Duran SB
Bud Gustafson	2400 Colorado Ave. Turlock	Bud Gustafson SB
Alice Gustafson	"	Alice Gustafson SB
Al Mirero	3360 SPRINGWOOD DR TURLOCK	Al Mirero SB
Miriam Mirero	" "	Miriam Mirero SB
NORM EVAN	2582 SEBASTIAN DR	Norm Evan SB
Jeanette Ellis	" "	Jeanette Ellis SB
Craig Jenkins	1937 MIRA FRANKS TURLOCK	Craig Jenkins SB
Peggy Jenkins	" "	Peggy Jenkins SB
ROBERT STEVENS	111 N. GOLDEN STATE ^{TURLOCK}	Robert Stevens SB
KELLY STEVENS	" "	Kelly Stevens SB
Bill WEBER	2491 COLORADO AVE	Bill Weber
Jeanette WEBER	2491 COLORADO AVE	Jeanette Weber

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Liliana Khasha	3000 N Quincy	
RICHARD THOMAS	4013 CRENSHAW	
JOYCE GRACER	4013 CALHOUN CT	
Saumira Giourgis	2001 Carmichael Way	
Ramona Giourgis	2001 Carmichael Way	
Kandy Polous	3145 Cajun Ct	
Jack Polous	3145 Cajun Ct	
JOHN ISHAQ	4517 HOWARD	
Nancy Evans	5530 EL CAPITAN	
Michelle Bouley	2140 Annhurst Ave	
Phil Bouley	2140 Annhurst Ave	
JENNIFER NISSAN	2412 LESTER RD	
Dominique ^{Corneil} Audon	3313 Inverness St. Modesto 95355	
HOMY NISSAN	2412 LESTER	
Roberto Aziz	P. O. Box 236	
Andrea Zayehmoud	1200 Casual Lane	
DIANA AZIZ	PO BOX 236	
Janelle Boulos	1980 Wyndfair	
Nancy Boulos	1980 Wyndfair	
Antoine Al Chkuni	1551 SHALLICE ST	
LUKE BOULOUS	2610 Chalkworth Ct	
Iskender Hermiz	2662 Wedgewood	
JULIEA HERMIZ	2662 Wedgewood	

2662 wedgewood
TURLOCK

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Steven Hermiz	2462 Wedgwood Ct	[Signature]
Jessica Boulos	1980 Wyndfair Dr	[Signature]
Sirena Filia	5054 White Oak Ct.	[Signature]
DAVID Boulos	1980 WYNDFAIR DR	[Signature]
STEVEN ISHAY	2610 CHATSWORTH CT	[Signature]
ALFRED JOSEPH	2820 CASTLEVIEW DR	[Signature]
Jory et Joseph	2820 Castleview Dr	[Signature]
Sam Eshu	2253 Old St Turlock	[Signature]
Ninos Boulos	2610 Chatsworth Ct	[Signature]
John Polous	160 SAI LANE	[Signature]
Carmer Polous	160 SAI LANE	[Signature]
NINOS LAZAR	2610 Chatsworth Ct	[Signature]
Julia Boulos	2610 Chatsworth	[Signature]
Azicole Ishay	2610 Chatsworth Ct	[Signature]
Michelle Nissan	2412 Lester Rd Turlock	[Signature]
Dominic DURAN	1885 CASTLEVIEW DR	[Signature]
MICHAEL POLOUS	1831 SMITH DR	[Signature]
RITA POLOUS	1831 SMITH DR	[Signature]
HAMAK ATU	1131 BULLMAN ST	[Signature]
JULIETTE ATU	1131 BULLMAN ST	[Signature]
BEONG ATU	1131 BULLMAN ST	[Signature]
ODISHU ATU	1131 BULLMAN ST	[Signature]
MEIKEHE ATU	1131 BULLMAN ST	[Signature]

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
GABI KHASHTA	3000 Quincy Rd	
Odetta Polons	1760 N Quincy Rd	
GABY Polons	1760 N Quincy Rd	
Adriana Mor Eliz	4087 St. Patrick Place	
Eder Mor Eliz	4087 St. Patrick Place	
Florence Younan	4087 St. Patrick Place	
YANAN Younan	4087 St. Patrick Place	
Lovana Younan	220 East Tuolumne	
Michelle Bailey	1700 N. Alameda Rd	
Amanda Eshon	1321 Muffet Road	
Manjinder Kaur	6968 Arlene Drive	
P. Mikael	3671 Nadia CT.	
George Mikael	3671 Nadia CT.	
Sargon Mikael	3661 Nadia CT.	
Liza Mikael	3661 Nadia CT.	
Janet Eshon	1321 Muffet Road	
Kathy Rocha-Escobar	4030 W Linwood Ave	
Gurmeet Mehrotra	784 RANDALL WAY	
Margaret Polons	1700 E. Chamberlain DR ^{TURLOCK}	
Rame Butta	1700 E. Chamberlain DR ^{TURLOCK}	
Wesley M. Mendes	19514 Gibraltar Ln. ^{TURLOCK}	
Ferouk AZOU	1871 Montrose way Tur	
Douglas Zeflow	202 Beard Ave. Modesto	

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Bill Sutton	1321 KEVINWAY	Bill Sutton
RICHIE PATTERSON JR	1045 GRANDVIEW CIRCLE	Richie Patterson Jr
KICO Monares	736 Alway Dr.	Kico Monares
Edmond Yacoub	4460 ESMAR	Edmond Yacoub
EDWARD OLVERA	2237 Sunny Creek Newman	Edward Olvera
Nel L. Mein	231 Locust St	Nel L. Mein
ADAM SANCHEZ	813 EVEREST ST.	Adam Sanchez
DEREK REESE	3100 N. OLIVE	Derek Reese
George Shamun	4639 Ferreira Ranch	George Shamun
Robert Angin	865 Alhambra #18	Robert Angin
WALTER ELIA	Walter Elia	1273 MAGIC SANDS BOON
Woody Moore	715 Foxglove ^{Newman}	Woody Moore
JOHN SILVEIRA	270 W MAW ST. TURLOCK, CA	John Silveira
MAAS Wells	9421 PARADISE AVE ^{Delhi}	Maas Wells
WILLIAM R. BENNETT	6413 CLAYTON TURLOCK	William R. Bennett
Larry Meyer	4830 Faith Lane	Larry Meyer
Fred Yow	Hughson	Fred Yow
Fred Warrack	19761 ^{Beer} HT MAR	Fred Warrack
Melisa Hannell	942 W Fuiketh Rd Crows Landing	Melisa Hannell
LARRY A. LARSON	20908 ^{Delhi} Monte Cristo	Larry A. Larson
Harry Doss	1521 Carnation Ct	Harry Doss
EDWIN HELLAM	TURLOCK	Ed Hellam
Rogun Townsend	400 Broderick	Rogun Townsend

EDWIN HELLAM
 2009 MAY 11
 4:10

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Shannon Inley	2019 LeeRae # Turlock	Shannon Inley
Tom Meyer	Turlock	Tom Meyer
Ron Meyer	Turlock	Ron Meyer
DAN DAVIES	TURLOCK	Dan Davies
Ron Meyer Jr.	Turlock	Ron Meyer
Richard Inley	- 21 -	Richard Inley
Clarence Inley	modesto	Clarence Inley
Gene Lewis	4730 ROEDING RD ^{CERES}	Gene Lewis
Jim Johnson	1224 MIST AVE.	Jim Johnson
JESS LANFORD	1101-01 CEDAR CREEK	Jess Lanford
DON GIST	Turlock 2925 Andre Ln	Don Gist
Pete Ball	536 ^{MODESTO} CAPISTRANO	Pete M. Ball
Wayne Hensley	3418 N. Waring Rd	Wayne Hensley
Ron Meyer	2019 LeeRae, Turlock	Ron Meyer

BOARD OF SUPERVISORS
 2011 MAY 13 P 4:46

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Loret Iskaya	690 Newcomb Ave	L. Iskaya
J. V. G. Zane	Turlock, CA 95382 2763 Explorer Way Turlock, CA 95382	J. V. G. Zane
Helen Piro	5748 Covfitt Rd 95382	Helen Piro
MARX ISAAC	240 W Touliamme Rd 95382	Marx Isaac
Juliana Issakhani	2432 AITA VISTA ST 95382	Juliana Issakhani
Stephany Issakhani	2432 Atta Vista St 95382	Stephany Issakhani
Robert Issakhani	2432 Atta Vista 95382	Robert Issakhani
Loudi Ishoo	2937 Polk Ave Turlock CA 95382	Loudi Ishoo
Roubin Houshiar	2937 Polk Ave Turlock CA 95382	Roubin Houshiar
Vajet Davood	9320 N. Bogart Ct Delhi CA 95315	Vajet Davood
Feredrick	139 W. Minnesota	unit F103
Kenadi ehamaki	or " "	Kenadi ehamaki
Yonas I. Yonani	3845 Fosberg Dr. Turlock, CA 95382	Yonas I. Yonani
EGLANTEEN WARBA	1720 SIMON DR. TURLOCK CA 95382	Eglanteen Warba
GEWARCIS SEDAK	221 JOY NICHOLE DR. TURLOCK, CA 95382	Gewarcis Sedak
Violat Balodali	2340 Black Oak St	Violat Balodali
Matthew Carrasco	1370 Alex Cir Turlock, CA 95382	Matthew Carrasco
Al Carrasco	1370 Alex Cir Turlock	Al Carrasco
Marianne Carrasco	1370 Alex Circle, Turlock	Marianne Carrasco
Floa Jacob	1324 Hertwick	Floa Jacob
Jeannette Abraham	1370 Alex Circle	Jeannette Abraham

BOARD OF SUPERVISORS
 2009 MAY 13

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Johnny Essapour	1509 Prairie Dog Dr	
Shaughan Essapour	---	
Elishwa Tomer	224 GOLF Modesto	
Sargon Varda	4624 Kirkos Dr. ^{Turlock}	
Maureen Varda	4624 Kirkos Dr. ^{Turlock}	
Henry Bourang	1227 Bourang Way ^{Turlock}	
Walter Lanean	2780 Bailey Ct	
Matt OShana	9122 Golf Links Rd	
Roza Aziz	2023 Justice	
Peiros Vaseph	3914 River Springs Way	
ABRIS DEMATRIAN	5333 GERR RD	
LUCAS DEMATRIAN	14 711	
ZRENE DILAK	440 WINDY CANYON	
Diamonda RASHO	1565 WINDTAIL WY	
Helen RASHO	1565 WINDTAIL WY	
Mina RASHO	139 W MINNESOTA	
John Adams	1875 FILLMORE	
Nores. Yan Khanna	550 Wayside Dr	
GARGIT ISHAKA	690 Newcomb Ave	
NINEVEH ABADY	2220 E Tuolumne	
PANNA TUMAZI	2378 ROBERTS Rd	

2004
 JAN 17
 P 4:46
 BOARD SUPERVISORS

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Agnes BENJAMIN	7962 ATHLETIC WAY	Benjamin
David BENJAMIN	"	David's Benjamin
DANIEL TIMIF	1165 N. Highland Ave	[Signature]
FLORA SARKHOSI	3188 Andie Cu	FLORA SARKHOSI
Adlen Magsoud	2641 Northwestern Ct	Adlen
Maureen Gousif	4901 Mantara Dr T	[Signature]
Nancy G. [unclear]	1383 Peraballou	Nancy G. [unclear]
Melinda G. [unclear]	[unclear]	[unclear]
JILLIAN TAMBAZI	7065 BERKELEY	William Tambozi
Victoria Yarkhan	348 Big Tree	V. Yarkhan
Bekesun OPIRO	1621 Simon Dr ^{Amey}	637-228
Naso Marozgi	139 W Minnesota	Naso Marozgi
SHAMIRAN YANAN	5038 N WALNUT	[Signature]
USEE Esmail	1161 Jacquette Ln	USEE
Leona Esmaily	1161 Jacquette Ln	[Signature]
Feona Esmaily	1161 Jacquette Ln	[Signature]
Elbra Ashoori	935 W Springer Dr.	Elbra Ashoori
Ronika Hoshivar	3301 Vanderbilt Ave.	Ronika
Ramil Hoshivar	3301 Vanderbilt Ave.	Ramil Hoshivar
Janet Hormoz	691 E Monte Vista	[Signature]
Khanna NWIYA	2255 N-WALNUT 106	[Signature]
Eunten Odish	1875 Edmore	Eunten Odish

9th - P 4:46
 SUPERVISORS

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
M. David	2220 Arivao	M. David
FLORA GARCIA	3193 Rendra CT, Turlock	FLORA GARCIA
Naema Khoshaba	102 Hawkey #7 Turlock	NARMEH Khoshaba
VARDIA VAZIRA	2007 DECISSIAN TURLOCK	VARDIA VAZIRA
AGNES APRIL	4262 FOSBERG RD TURLOCK	AGNES APRIL
ALISE MIRZA ZADH	244 GOSSELAND AVE TURLOCK	ALISE MIRZA ZADH
Linda Youman	1100 Pedras Rd Turlock	Linda Youman
YOU LIA BADAL	1100 Pedras Rd G116 Turlock	YOU LIA BADAL
ALICE ASHANA	2141 ARBORWAY R1106 TURLOCK	ALICE ASHANA
ELSIE YOUNBERT		ELSIE YOUNBERT
YOUEL OSHANA		YOUEL OSHANA
JAMES BENJAMIN	591 ASHLAND AVE	JAMES BENJAMIN
HABIB BENJAMIN	591 ASHLAND	HABIB BENJAMIN
BELLAS NISAN	3520 Anethurst Way	BELLAS NISAN
MARIAN MIROO	3360 Spring Garden	MARIAN MIROO
ALICE YOUNMAN	2500 NICKLUS DR	ALICE YOUNMAN
Mae Khaira	809 Runyan Dr	Mae Khaira
Rolanda Avila	1302 Newcomb Ave	Rolanda Avila
Laudia Oshain	1125 N. Dumbenborg	Laudia Oshain
NAHRIN-YS	1301-N Deneir APT 44	NAHRIN-YS
DENYS ADAMOV	3161 N. Berkeley Ave	DENYS ADAMOV
Charlie Babakhan	2301 Paseo de Leon, Turlock	Charlie Babakhan

BOARD OF SUPERVISORS

2

2009 MAY 11
 BOARD OF SUPERVISORS
 4:46

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Martha Badalof	1785 ABIGAIL LANE	BADALOF
Conrad Hampton	1815 ABIGAIL Ln	Conrad Hampton
Bryan Sherwood	1818 Abigail Ln	Bryan Sherwood
Hada Fernandez	1765 Abigail	Hada Fernandez
Luis FERNANDEZ	1765 Abigail	Luis Fernandez
Shamiryan Youkhan	2842 AHEMWAY	Shamiryan Youkhan
Ninet Peyour	1728 Abigail Lane	Ninet Peyour
Veronica Davalos	1725 Abigail	Veronica Davalos
Robert Oshaneh	1665 "	Robert Oshaneh
Dinda Oshaneh	" "	Dinda Oshaneh
Ashur Youkhan	2842 AHEMWAY	Ashur Youkhan
Tom Clark	1788 Abigail Ln Turlock	Tom Clark
Margaret Clark	1788 Abigail Ln Turlock	Margaret H. Clark
Lili HOVASIN	990 Montevista	LILI HOVASIN
Tom ISMAY	1785 ABIGAIL LANE	Tom Ismay
Ly Scott	1785 Abigail lane	Ly Scott
Josh Suggens	7869 Dorset Way	Josh Suggens
Jeffery	2849 DORSETWAY	Jeffery
Eric Hartosh	1648 Abigail Ln	Eric Hartosh
Obacht	1628 Abigail Ln	Obacht
Baha Aboukhabib	1668 Abigail lane	Baha Aboukhabib
Beau	2800 BEECHSTONE DR.	Beau
Julian	" "	Julian

saha Aboukhabib

668-7178

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Joann David	2861 Garzellis way	Joann David
Asyaf Bejan	661 Monte Vista	Asyaf Bejan
AWRAHIM u	661 Monte Vista	Asyaf Bejan
Nedie Giwangis	1873 Edgewood Dr	Nedie Giwangis
Victor Odisho	1873 Edgewood Dr.	Victor Odisho
Julie Arderton	1874 Edgewood Dr.	Julie Arderton
Mike Arderton	1874 Edgewood Dr	Michael Arderton
MARK Babarand	293 Ahlum way	Mark Babarand
Wahid Benjamin	262 Ahlum way	Wahid Benjamin
Shah Kinn Polour	1890 Montreux way	Shah Polour
Tony polour	1890 Montreux way	Tony Polour
Edward Essalchani	2400 Crowell Rd.	Edward Essalchani
Sherely Essalchani	2400 Crowell Rd.	Sherely Essalchani
Melissa Essalchani	2400 Crowell Rd.	Melissa Essalchani
BiBoni A Zou	1871 Montreux way	BiBoni A Zou
HABI B Mawani	1871 Montreux way	HABI B Mawani
Rommel David	303 Staff Ave #32 TURLOCK, CA 95380	Rommel David
Sarah Royal	Turlock 9582	Sarah Royal
TOPA ELLIOTT	2621 JELS TURLOCK	TOPA ELLIOTT

BOARD OF SUPERVISORS
 2009 MAY 13 P 4:46

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd., east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
SARGON YONAN	5038 WALNUT RD	[Signature]
ALEX KHANU	1571 GROENFELDA	[Signature]
Richard Neesa	2190 LAUREN CIR	[Signature]
Ally D. Minor	3360 Spruce Garden	[Signature]
Sumon Daniel	2908 SHOSHONE	[Signature]
Ahmed Esmaili	1255 N. DAVENBERGER	[Signature]
Janelle Esmaili	1255 N. DAVENBERGER	[Signature]
Shirley Yonan	1841 HAMMORDED DR	[Signature]
DAVID EVANOFF	2635 OXFORD AVI	[Signature]
JULIET OSHANA	357 E. SPRINGER DR	[Signature]
LEZA SADE	691 ALPHARD RD	[Signature]
Nancy Envia	2121 ARBORWAY	[Signature]
Minva Khedry	4052 WINDROSE DR	[Signature]
Agnis P. Kousiz Babain	1305 HEATHERMELWAY	[Signature]
Kousiz Babain	1305 HEATHERMELWAY	[Signature]
Warkina Dawood	920 E MONTEVISTA	[Signature]
YESMIN ALEXANDER	3305 EUREKA LN.	[Signature]
Homa Goodji	2038 SHADOWPARK	[Signature]
Nahida Goodji	2638 SHADOWPARK	[Signature]
YOUSUF	290 E MIAO ST	[Signature]
CHALIE Kheenu	4423 TULLY #11	[Signature]
YOUSAM DANIEL	4221 TULRY APT # 104	[Signature]

BOARD OF SUPERVISORS
 2009 MAY 13 PM 4:46

From: Vito Chiesa <VChiesa@aol.com>
To: "carlsonj@stancounty.com" <carlsonj@stancounty.com>
Date: 5/4/2009 11:47 AM
Subject: Fwd: Turlock Driving Range

Sent from my iPhone

Begin forwarded message:

> From: Jeff Reed <keyes_mac@yahoo.com>
> Date: May 4, 2009 8:45:05 AM PDT
> To: Vito Chiesa <vchiesa@aol.com>
> Subject: Turlock Driving Range
> Reply-To: keyes_mac@yahoo.com
>

> Mr. Chiesa,

>

> Just wanted to drop a note on this. I'm supportive in which ever
> way you decide to go with but I wanted to comment on the article
> which I read on modbee.com which I assume was in paper also. I
> remember seeing documents on this and we all looked at them. I had
> comment with Davie. I'm not quoting him but he went on saying it had
> nothing to do with us not our area. By them posting in Modesto Bee
> it makes us look unprofessional and unorganized. We saw it and we
> had our chance to act on it, We didn't take it so by them speaking
> up not makes us look bad. From now on we will have discussion and
> vote on anything that comes from planning. Sorry for any
> inconvenience of us not acting on it. Thanks Jeff
>

From: Betty Lewis <BLewis@wintonireland.com>
To: "vito.chiesa@stancounty.com" <vito.chiesa@stancounty.com>
Date: 5/4/2009 2:53 PM
Subject: Commercial development north of Taylor Rd

Supervisor Chiesa:

I am writing in regard to the proposal being considered for a golf course driving range north of Taylor Rd. The greenbelt between Turlock and Keyes has preserved valuable farmland for more than twenty years. I was a past resident of Modesto for twenty years starting in 1980 and witnessed the haphazard, thoughtless growth that ate up farmland around the city. It has resulted in a rapid influx of traffic, noise and congestion. We do not want to see that happen to Turlock. It only takes one project to undermine the long-standing commitment of preserving growth north of Taylor Rd and start the uncontrollable urban sprawl Modesto has experienced.

Please take our stand against this proposal into account when you vote regarding this project. Our neighbors feel the same way and will be signing a petition to confirm that.

Sincerely,

Bruce and Betty Stewart
5500 N Quincy Rd
Denair CA 95316
664-0162

J E A N I F E R R A R J BOARD OF SUPERVISORS

May 13, 2009

2009 MAY 14 P 2:15

Dear Chairman DeMartini and Board Members,

I strongly urge the Board of Supervisors to grant the Appeal for Condition Use Permit 2008-10 (thereby denying the project) for several reasons. The proposed project is located on the north side of Taylor road in an area that is subject to an Agreement between Stanislaus County and the City of Turlock. The Agreement along with its amendments was created to further cooperation between the County and the City on several fronts including land use. The City and the County agreed to several land use tenants which were designed to foster cooperation in planning and the collection of Public Facility Fees.

Paramount in the agreement is the understanding and intent that development along Geer and Taylor Roads would be limited to "agricultural uses". The intent is to prevent the urbanization of a productive agricultural area and to create a separation between the community of Keyes and Turlock utilizing the Turlock Irrigation Lateral and Taylor Road as the "natural" boundary. In planning the neighborhoods to the south of the Lateral and Taylor Road, the City of Turlock recognized the Agreement and those boundaries and designed the neighborhoods accordingly.

The March 19, 2009 Staff Report to Planning Commission recognized that this project is located on one of the larger agricultural parcels in the area. There are other similar sized parcels and intensely farmed parcels surrounding the site. The intrusion of this urban use serving an urban population will have a long term negative impact on the continued viability of the agriculture in this area.

A golf driving range is a use which serves an urban population and does not belong in an agricultural area. The fact that a Use Permit can be applied for and *may* be granted is *not* reason to approve the use. A golf driving range bears no resemblance to an agricultural use and is being placed there to serve an urban population.

I want to emphasize that just because a use is listed in the Ordinance as allowable after the approval of a Use Permit, does not mean that a Use Permit must be approved. In approving a Use Permit there are several findings that must be established, and in this instance, the

3507 E. Hawkeye Avenue, Turlock, CA
P.O. Box 76, Ballico, CA 95303

Board must look to the General Plan *and other agreements* which are in place and the intent of the General Plan *and* the Turlock Agreement. It is my opinion the project is **not** consistent with the General Plan, including the recently adopted Agricultural Element and is **not** consistent with the content and the spirit and intent of the Turlock Agreement. **In addition, the Planning Staff in their report to the Planning Commission found that it was unable to establish the findings required to recommend approval of the Use Permit.**

In the Staff Report the issue of "returning the site to agriculture" if the project failed, was discussed. I would submit to the Board that while conceptually true, none of the golf driving ranges have ever been "returned to agriculture". In fact, just the opposite has occurred, the existence of a golf driving range has been utilized as justification to grant additional urban uses, such as a church (Parker and DeWitt) and a commercial development (Crows Landing and Grayson Roads).

Thank you for your consideration,



Jeani Ferrari
(209) 634-4495

cc: City of Turlock Planning Department
Stanislaus County Planning Commission

April 28, 2009 Turlock City Council Meeting –

Mayor, council members and staff – thank you for the opportunity to speak. My name is Jeani Ferrari and I live at 3507 Hawkeye Avenue, Turlock, CA.

In 1994, the City of Turlock and Stanislaus County created a document – the first of its kind in the Central Valley of California. I have heard reference to the document several times at smart growth conferences.

That document identified the agricultural land north of Taylor Road as an agricultural buffer. The citizens of Turlock made it clear that they didn't want Turlock and Keyes to merge. More importantly, the citizens of Turlock wanted Turlock to have an urban edge at Taylor Road that was to be the permanent northern edge of Turlock. Beyond that was to be productive farmland and orchards.

Recently, the Stanislaus County Planning Commission approved a golf driving range in that agricultural buffer. The planning commissioners were not informed of the agreement between the City of Turlock and the County. Over the years, commissioners have changed, as have supervisors and council members. In recent years, the document has been overlooked by staff, council, commissioners and supervisors...

I recently attended a General Plan Update for the City of Turlock. The public meeting was sponsored by Turlock's Planning Commission. The meeting room was at capacity. Each table of 8 was asked to describe a dream Turlock – fifty years forward. Every table indicated that it wanted Turlock to grow compactly and be surrounded by agricultural land. Several tables expressed they didn't want Turlock to become another Modesto, sprawling into the cities around it. Each table wanted to live in a community surrounded by productive farmland.

A central theme of the Turlock General Plan is to maintain Turlock, Keyes and Denair as free-standing communities, surrounded by productive farms and orchards.

I ask that the council continue to recognize the importance of maintaining an urban line at Taylor Road. If the farmland between Turlock and Keyes is to remain, the agreement must be honored. The agricultural buffer is small. If every few years a parcel is allowed to be urbanized, soon there will be no real buffer between Keyes and Turlock. There will be a tipping point at which the exception becomes the rule.

I recognize that it is the county that has moved to allow urbanization. I hope that formal recognition of the document by Turlock City Council might give direction to the county that piece-meal urbanization is a threat to the viability of farming in this buffer and raises the expectations of landowners for further development.

I would like to read to you a passage from the City of Turlock's North Turlock Agricultural Land Conservation Study (1998) funded by The Great Valley Center's LEGASCI Grant Program and The California Department of Conservation's Agricultural Land Stewardship Program:

"Economically, agricultural land is a valuable resource: the benefits of agricultural production to the local economy should not be underestimated... In Turlock 7.5 per cent of the labor force relies upon agriculture for employment.

Environmentally, the Turlock area is mainly dependent upon groundwater for non-irrigation purposes. Aquifers have not been definitively mapped, though the recharge areas mapped by various sources are, for the most part, in the northern part of the Conservation Study Area." (- which is the agricultural buffer at Taylor Road.)

I hope that the City of Turlock and the County will work together to maintain this important buffer.

Thank you,
Jeani Ferrari
(209) 634-4495



HORIZON CONSULTING SERVICES
POST OFFICE BOX 1448
MODESTO, CA 95353
Phone: (209) 491-7620
Fax: (209) 491-7626

TRANSMITTAL:

TO: STANISLAUS COUNTY
CLERK OF THE BOARD OF SUPERVISORS
CHRISTINE FERRARO TALLMAN
Phone:

From: DENNIS WILSON
Date: 5.15.09

FAX: HAND DELIVERED

of Pages:

Roy A. Galli
R.C.E. 16.024

Dennis E. Wilson
Planning Consultant

P.O. Box 1448
Modesto, California
95353

phone 209.491.7620
fax 209.491.7626

Re: TURLOCK GOLF DRIVING RANGE

Urgent As Requested For Review & Comment
 Recycle For Your Use Make Revisions Noted
 Resubmit Follow Up Please Return
 No Response Needed For Approval
 Original Will Not Follow

MESSAGE: PLEASE INCLUDE THESE NEW LETTERS IN THE SUPERVISORS PACKETS FOR THE MAY 19TH MEETING. I HAVE MADE 8 COPIES TO INCLUDE YOURSELF, CEO & COUNTY COUNSEL. I HAVE ALSO ATTACHED A NEW PETITION WHICH BRINGS OUR SUPPORT SIGNATURES TO A TOTAL OF 309.

THANKS, Dennis

5-19-09
6:35 pm



CALIFORNIA STATE UNIVERSITY, STANISLAUS

INTERCOLLEGIATE ATHLETICS

May 13, 2009

Stanislaus County Board of Supervisors
1010 10th Street, Suite 6700
Modesto, CA 95354

Dear Stanislaus County Board of Supervisors,

I am writing this letter in support of the new proposed golf practice center that may be built in Turlock. This project will strongly benefit our university golf program as well as the other students that attend the college. At this time, our community has no public golf practice facility and that is a shame for this area where weather allows year-round golf. The proposed project is in an ideal location. This would be beneficial for the entire community where besides college students can learn, but families can spend time together playing a lifelong game. Our local high school golf teams are currently traveling outside our town to practice. Transportation is costly in schools and who knows how long the district will financially support this cost. They, too, would benefit from a local golf practice center. Please feel free to call me if you have any questions that I could help with.

Sincerely,

John Cook
Men's Golf Coach
CSU Stanislaus
(209) 667-3639
jcook4@csustan.edu

BOARD OF SUPERVISORS
2009 MAY 15 P 4:45

2009 MAY 14 4:55
 BOARD OF SUPERVISORS

We the undersigned party, endorse the proposal of Fred Adams to construct a golf driving range on the north side of Taylor Rd. east of Golden State Blvd in Turlock, Ca.

Name	Address	Signature
Margarita Hernandez	851 Whispering pines	Margarita Hernandez
Cecilia Hernandez	851 whispering pines	Cecilia Hernandez
Robert Hernandez	851 whispering pines	Robert Hernandez
Janet Atanovs	4527 Destiny Dr.	Janet Atanovs
George Atanovs	4527 Destiny Dr.	George Atanovs
Ana Atanovs	4527 Destiny Dr.	Ana Atanovs
Ben-Hur	4527 Destiny Dr.	Ben-Hur
Wilbert Marshall	2145 E Hartwick	Wilbert Marshall
Louise Tammy	1381 Hartwick	Louise Tammy
Fred E. JACOB	1321 HARTWICK	Fred E. JACOB
David Chaney	1400 Hartwick	David Chaney
Brandon Wilkerson	1400 Hartwick	Brandon Wilkerson
Elissa Wilkerson	1400 Hartwick	Elissa Wilkerson
Shadia Johns	2195 Sunburst Terrace	Shadia Johns
Juliet Gallegla	1119 Pedros Ct	Juliet Gallegla
Hubert Daniel	881 Ashland	Hubert Daniel
Christina Daniel	881 Ashland	Christina Daniel
Raul Moran	881 Ashland	Raul Moran
John Jones	2570 ComBridg	John Jones
MARVON YANNA	2570 ComBridg	MARVON YANNA
Dawn Yanna	2570 ComBridg	Dawn Yanna
Dawn Yanna	2570 ComBridg	Dawn Yanna



NCGA Foundation
 P. O. Box 1157
 Pebble Beach, CA 93953
 Tel 831-625-4653
 Fax 831-626-2650
 www.ncgafoundation.org

"The NCGA Foundation is about kids and their futures."

OFFICERS

Paul F. Morton
President

Brooke C. Phayer
Secretary

EX OFFICIO

Lyn Nelson
NCGA CEO

DIRECTORS

Mark Battey

William Brown

Ted Budach

Michael Clair

Chris Clark

William E. Hammonds

Dan Hansford

Rick Lang

Barry Loncke

Anthony Muller

Patrick Quinn

EXECUTIVE DIRECTOR

Adam Heieck

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Gary Vandeweghe

Ken Venturi

Michelle Wie

May 13, 2009

County of Stanislaus Board of Supervisors
 Supervisor Jim DeMartini – Chairman
 Supervisor Jeff Grover – Vice Chairman
 Supervisor William O'Brien
 Supervisor Vito Chiesa
 Supervisor Dick Monteith
 1010 10th Street Suite 6700
 Modesto, CA 95354

Re: Proposed Golf Facility in the South Stanislaus County Area

Dear Chairman DeMartini and Members of the Board of Supervisors,

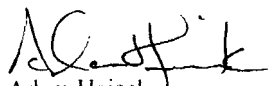
The Northern California Golf Association (NCGA) Foundation would like to show its support for the development of a new golf facility in the south Stanislaus County area. A new golf facility in this area would have a sizable impact on youth in the central valley due to the current lack of access in that region.

The NCGA Foundation's *Youth on Course* program provides Northern California youth the opportunity to apply important core values such as respect, honesty and perseverance on the golf course by increasing the accessibility and affordability of the sport. More than 100 of the region's golf courses participate in the program, allowing "life skills certified" participants to play golf for an average of only \$2 per round and pay only \$1 for a bucket of range balls. All participants must progress through life skills training either through our online curriculum or another youth development program. *Youth on Course* instills values such as integrity and sportsmanship so youth are more likely to contribute positively to society and lead more active and successful lives.

The NCGA Foundation also exposes underserved youth to the game of golf through its free clinics, which use golf as a vehicle for teaching life skills and core values while building self-esteem and providing an enjoyable experience. Most free clinic participants would never be exposed to the game of golf due to their economic background making this opportunity a welcome escape from their day-to-day routine. The free clinics are conducted with well-known golf instructors and college golf teams, providing an exciting opportunity to learn the importance of working hard in school as well as setting and achieving their goals.

We wish you the best in your endeavors to positively impact youth through golf.

Sincerely,


 Adam Heieck
 Executive Director

BOARD OF SUPERVISORS
 2009 MAY 15 P 4:45



5-19-09
6:35pm

TESTIMONY FOR STANISLAUS COUNTY BOARD OF SUPERVISORS MEETING 5-19-09

APPEAL OF PLANNING COMMISSION'S DECISION TO APPROVE USE PERMIT 2008-10, TURLOCK GOLF CENTER

Good evening, Chairman De Martini. My name is Debbie Whitmore. I am the Deputy Director of Development Services/Planning for the City of Turlock and am here tonight on behalf of the City of Turlock to request that the Board of Supervisors reinstate Conditions of Approval #49 and #53 as originally proposed by staff and as submitted by the City of Turlock in its comment letter of December 2008.

The City of Turlock requests that, if the Board of Supervisors decides to approve this Use Permit, thus overturning the appeal presented here tonight, that the following changes be made to the County Planning Commission's action. Specifically, Condition of Approval #49, should read:

49. "Improvements (curb, gutter, and streetlights) shall be installed along the entire frontage of the proposed golf center in accordance with the encroachment permit to be issued by the City of Turlock."

And Condition of Approval #53 should read:

53. Prior to the issuance of an encroachment permit by the City of Turlock, the applicant shall execute and record an agreement with the City to install sidewalks in accordance with City of Turlock standards along the entire frontage of the property at a future date to be determined by the City.

The City is requesting that these changes be made in accordance with the Third Mutual Support Agreement with the County in July 1991 (which is Attachment 5 to your staff report). The City and County jointly entered into this agreement primarily to allow the City to collect the public facility fees. The agreement establishes a cooperative relationship between the City and County regarding planning and development policies both within the City's Sphere of Influence and those areas that fall outside the Sphere of Influence.

In this particular case, the project is being developed along Taylor Road. While the property is located outside the City's Sphere of Influence, Taylor Road actually lies within the jurisdiction of the City of Turlock. As such, the City is requesting that the road be developed to City standard, in accordance with County General Plan Policy 2.6 that states that all roads developed within the Sphere of Influence of a City shall meet the design and access standards of that City.

City design and access standards require the installation of curb, gutter, sidewalk, and street lights. After extensive discussions with both County staff and the applicant's representative, the City has agreed to explore the possibility of an agreement to address sidewalk improvements, but has requested that all other improvements be installed – curb, gutter and streetlights. Therefore, the City is requesting that the conditions, as originally submitted to the County and by the County Planning staff, be included in your action, if the Board decides to approve the Conditional Use Permit.

2009 MAY 18 5:42

BOARD OF SUPERVISORS

In addition, the City has formally requested the initiation of discussions regarding the City-County Agreement. The 5-year renewal term of the agreement will expire this July, and, as a result of the discussions regarding this project, it is apparent that certain provisions of the agreement may be somewhat vague. To re-establish a meeting of the minds regarding this agreement, the City Council took an action on April 28 to authorize the Mayor to enter into discussions with the County to address growth and development north of Taylor Road or more generally within the areas outside the City's Sphere of Influence. We are looking forward to initiating those discussions as soon as practicable.

Thank you for this opportunity to speak to you tonight.

With that, I will conclude my remarks and answer any questions that you may have.

**APPEAL OF A PLANNING COMMISSION
DECISION ON MARCH 19, 2009
TO APPROVE USE PERMIT
APPLICATION NO. 2008-10
“TURLOCK GOLF CENTER”**



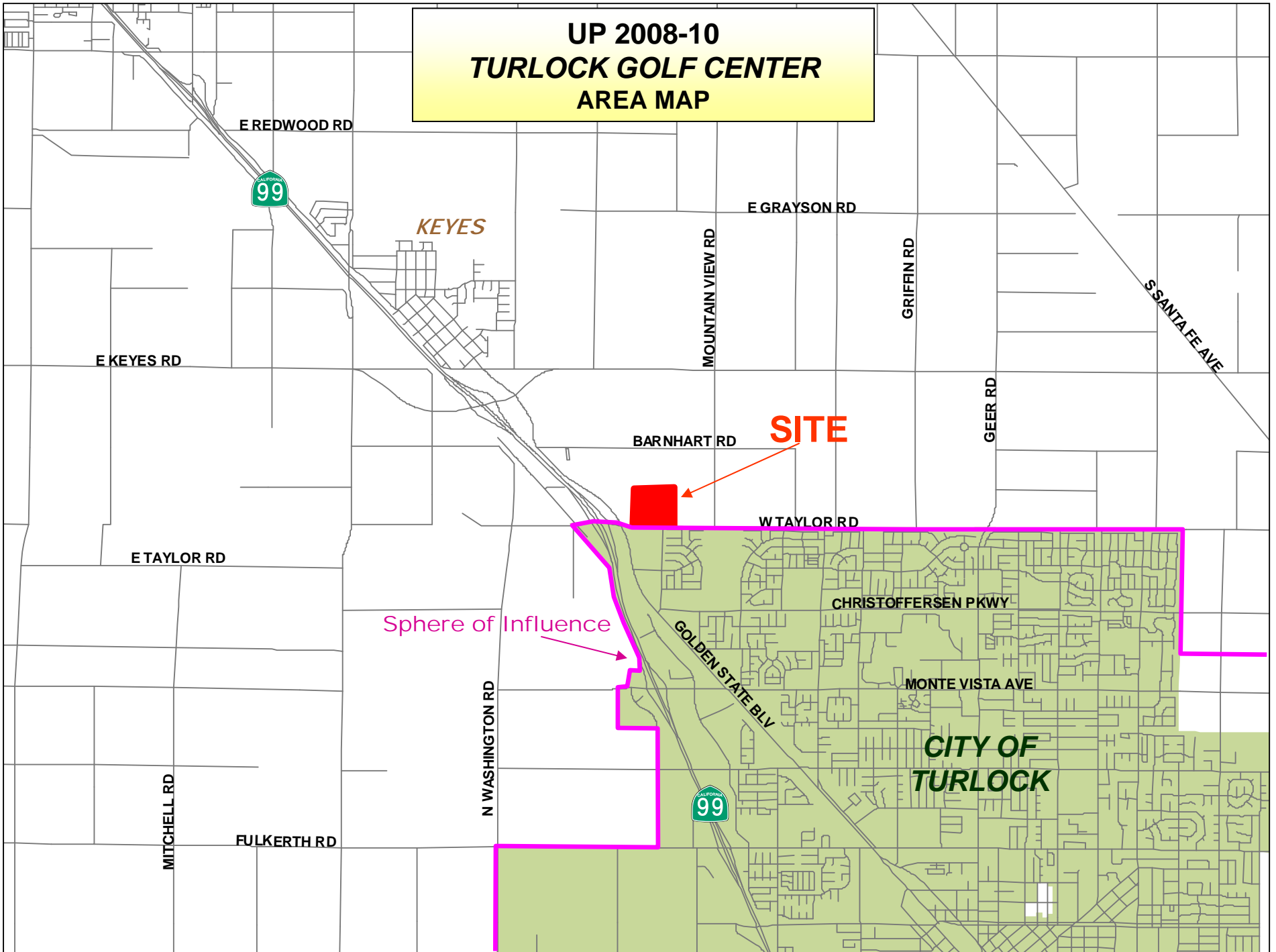
PROJECT DESCRIPTION

REQUEST TO ESTABLISH A GOLF DRIVING RANGE ON A 39± ACRE PARCEL IN THE A-2-40 (GENERAL AGRICULTURE) ZONING DISTRICT, WHICH WOULD INCLUDE:

- **2,000 SQUARE FOOT OFFICE & PRO-SHOP**
- **1,000 SQUARE FOOT MAINTENANCE SHED**
- **COVERED TEE AREA**
- **53-SPACE PARKING LOT**
- **POLE MOUNTED NETTING & LIGHTING**
- **LANDSCAPING**



**UP 2008-10
TURLOCK GOLF CENTER
AREA MAP**



**UP 2008-10
TURLOCK GOLF CENTER
GENERAL PLAN DESIGNATION**

P-D



W BARNHART RD

AG

AG

P-D

P-D

SITE

N MOUNTAIN VIEW RD

W TAYLOR RD

W TAYLOR RD

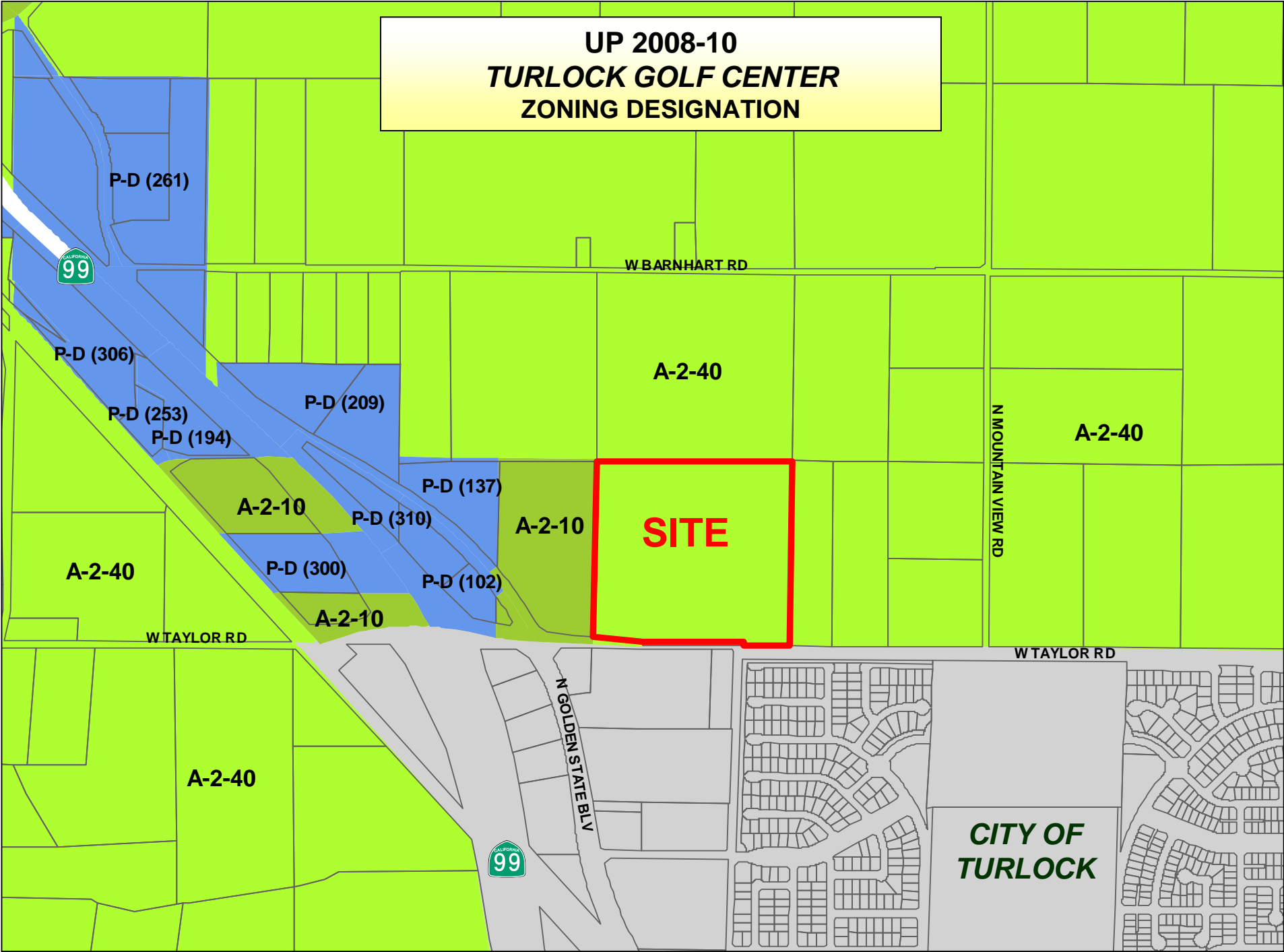
AG

N GOLDEN STATE BLV



**CITY OF
TURLOCK**

**UP 2008-10
TURLOCK GOLF CENTER
ZONING DESIGNATION**



**UP 2008-10
TURLOCK GOLF CENTER
AERIAL PHOTO (2006)**

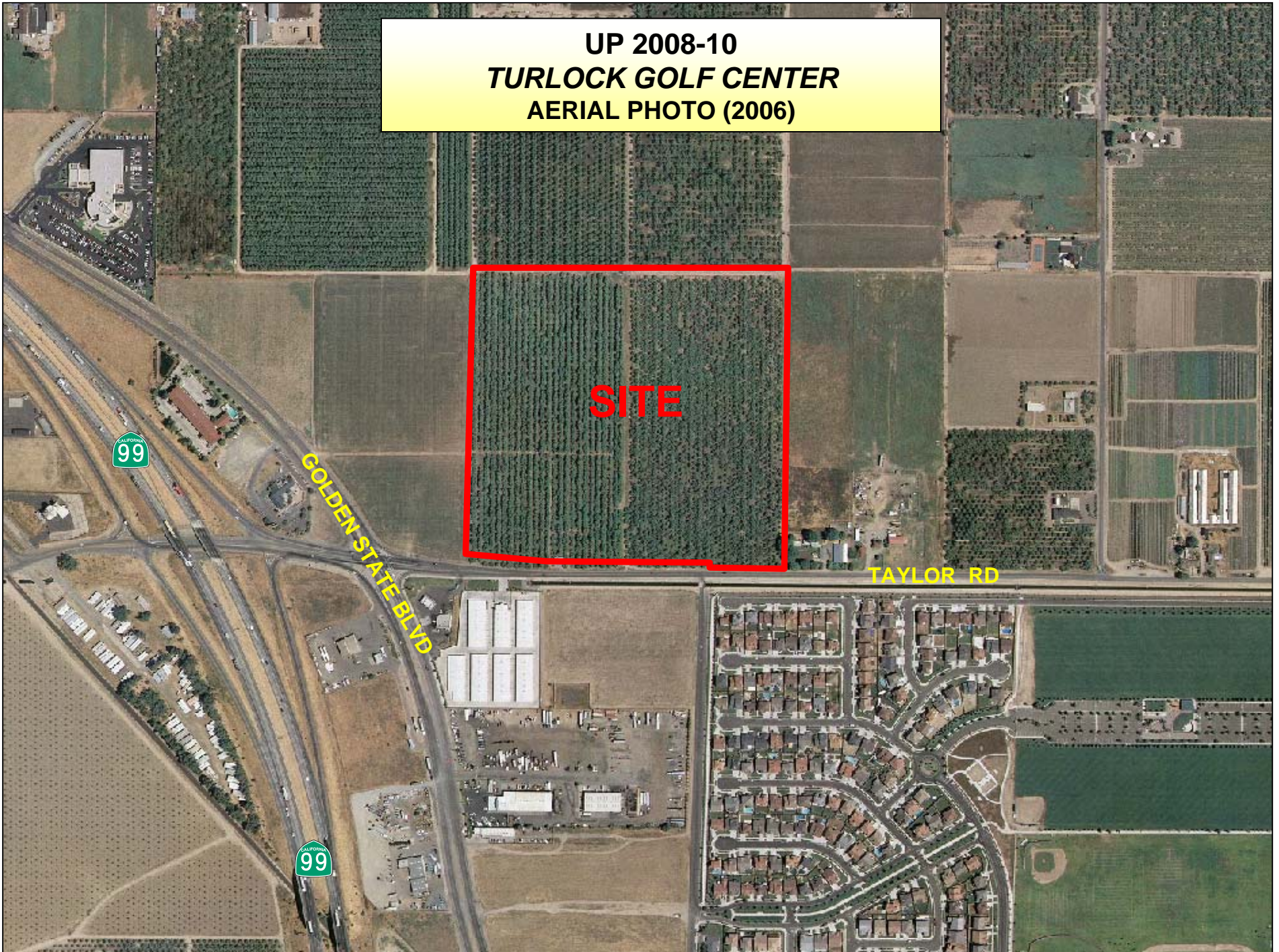
SITE

GOLDEN STATE BLVD

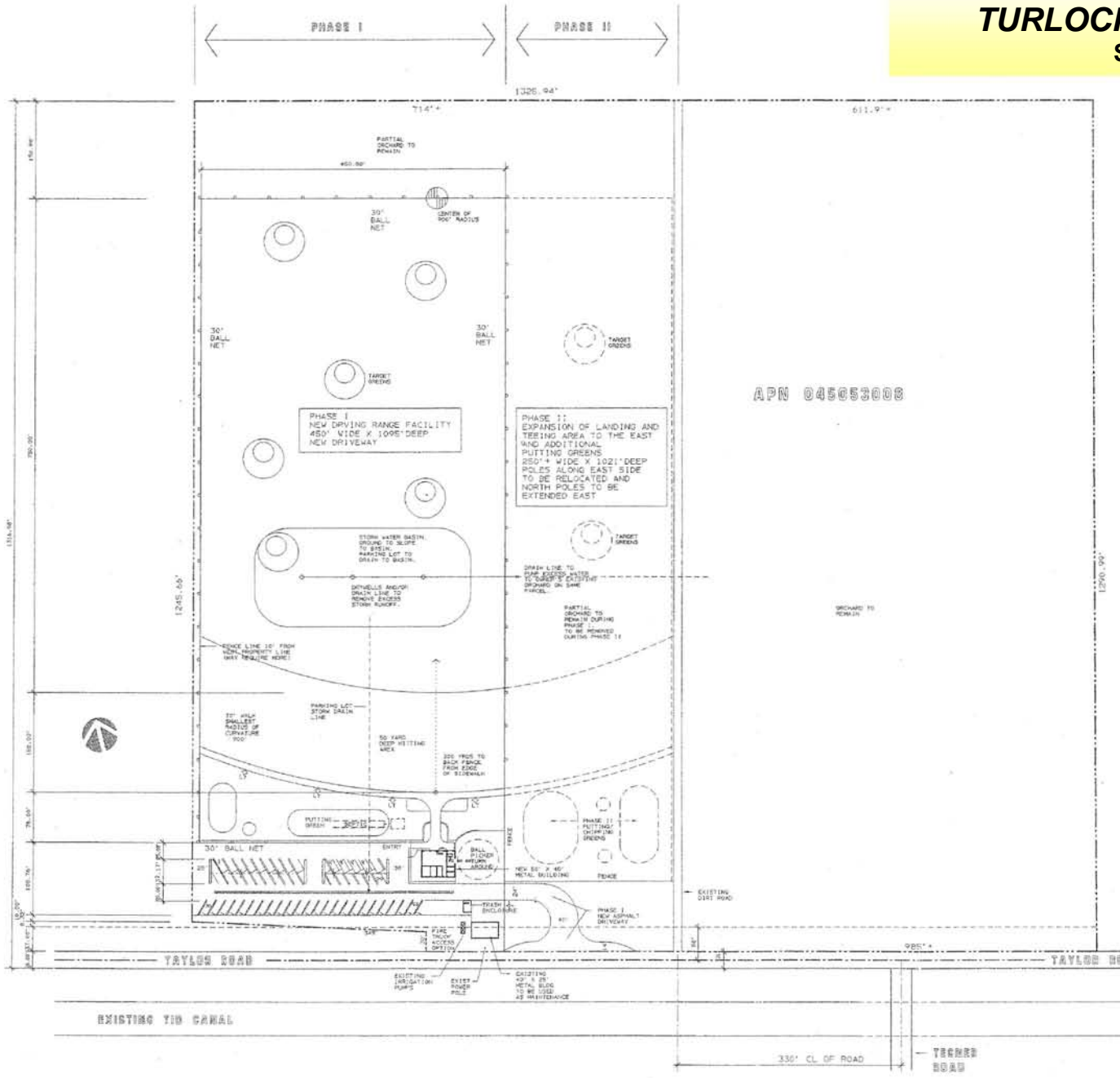
TAYLOR RD

99

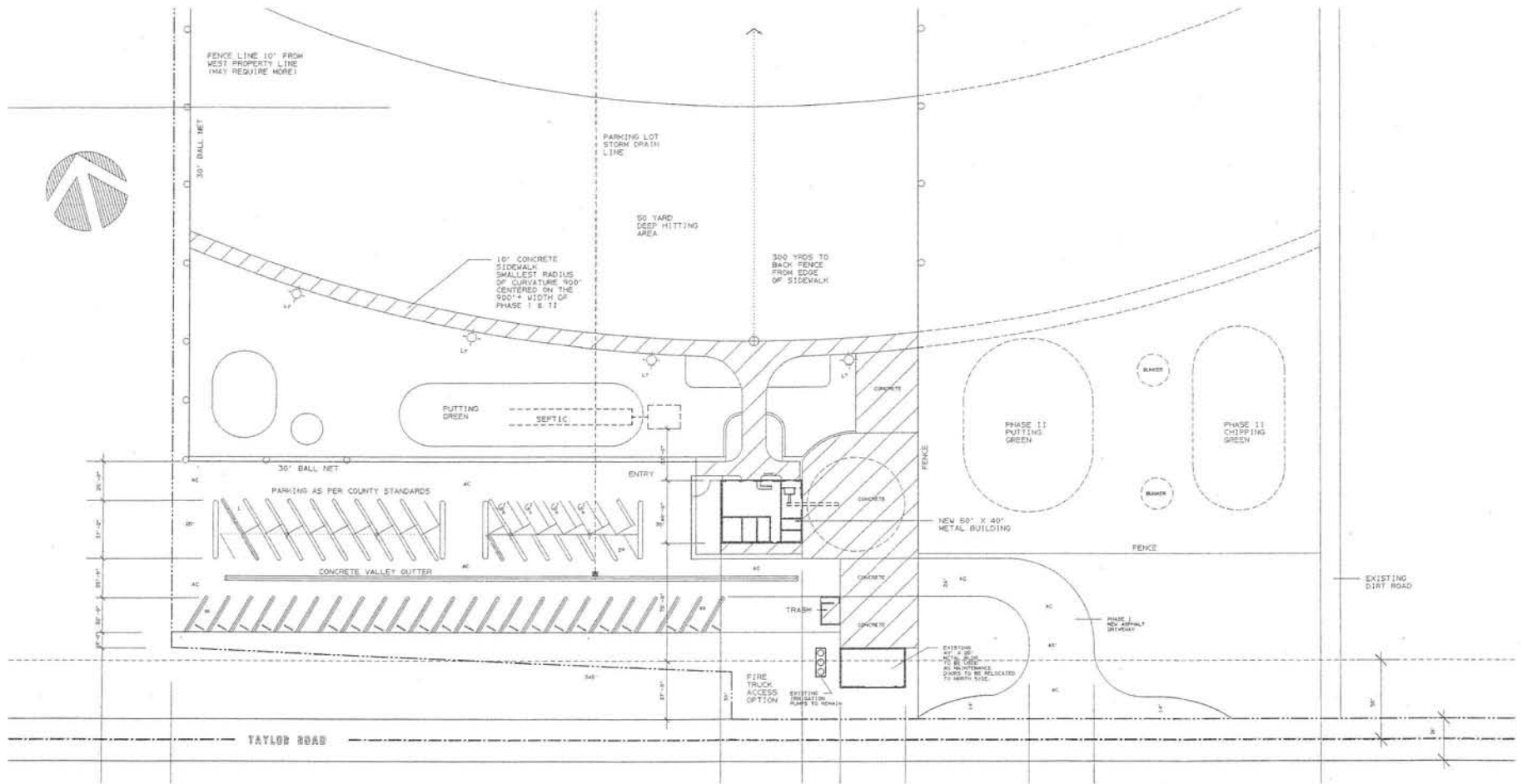
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UP 2008-10
TURLOCK GOLF CENTER
SITE PLAN



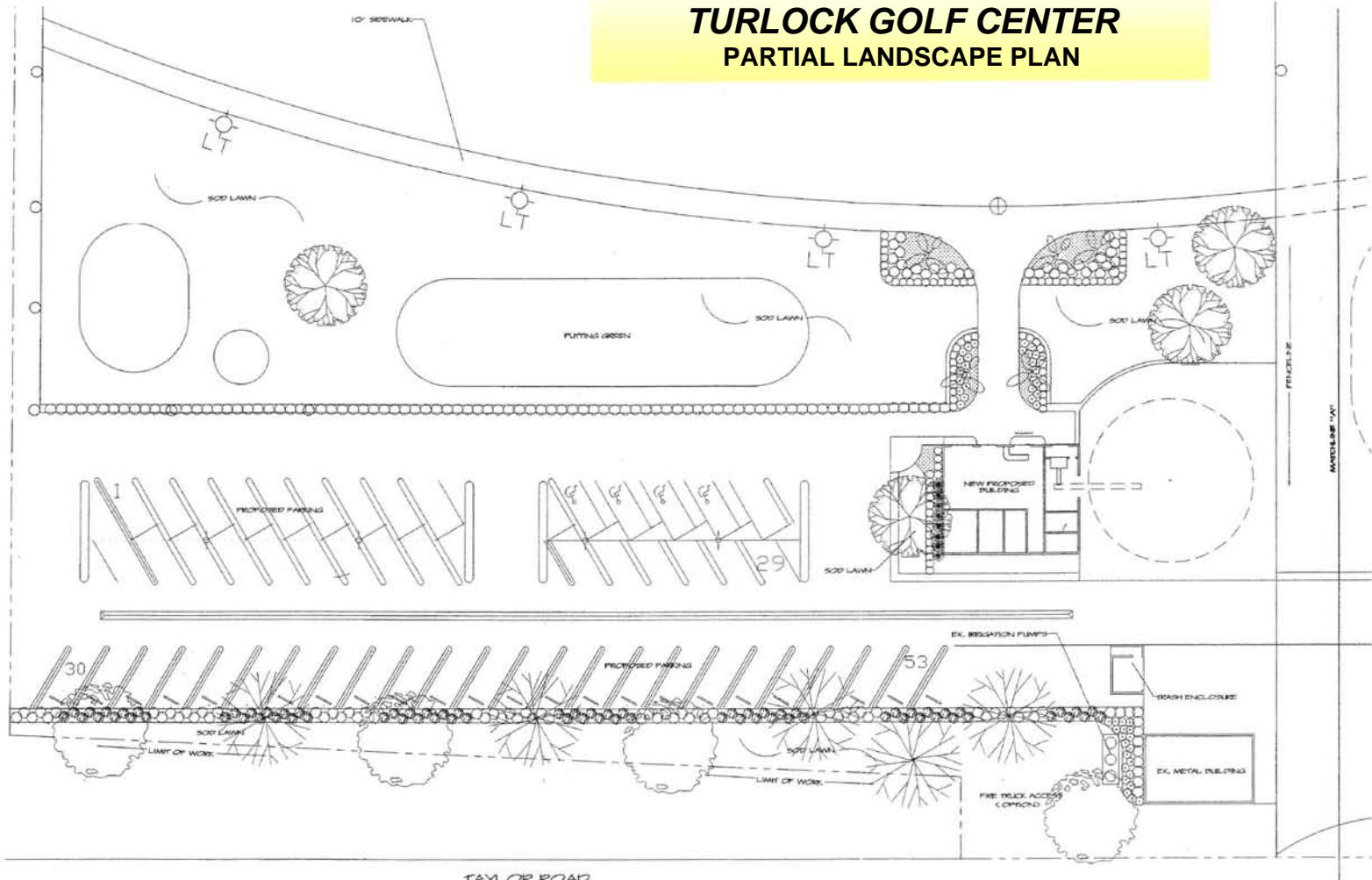
**UP 2008-10
TURLOCK GOLF CENTER
SITE PLAN**



UP 2008-10
TURLOCK GOLF CENTER
ELEVATIONS & FLOOR PLAN



UP 2008-10 TURLOCK GOLF CENTER PARTIAL LANDSCAPE PLAN



TAYLOR ROAD

Trees		Common	Quantity	Size
Symbol	Planting			
	Plant 1: 'Admiral Parkman'	Scarlet Maple	4	18'-Gd
	Plant 2: 'Crested Redwood'	Cascade Tree	5	24'-4in
	Plant 3: 'Lambert's'	Multi-trunk Cedar Maple	5	18'-Gd
	Plant 4: 'Gambel's'	Coast Live Oak	4	24'-4in
Shrubs				
Symbol	Planting	Common	Quantity	Size
	Plant 1: 'Green Goddess'	Japanese Privet	80	1'-Gd
	Plant 2: 'Tara Galia Dala'	Drifts	46	1'-Gd
	Plant 3: 'Lambert's'	Chinese Firm Flower	8	5'-Gd
	Plant 4: 'Lila Ole'	Dwarf Olive	72	5'-Gd
	Plant 5: 'Viburnum'	Indian Hawthorn	46	5'-Gd
	Plant 6: 'Panicum'	Dwarf Forsythia	51	5'-Gd
	Plant 7: 'Syringa'	Viburnum	99	5'-Gd
Grass/Planting				
Symbol	Planting			
	Planting			

FIGURE 1: LANDSCAPE PLAN - CHINA ROAD, FROM 1st TO 3rd ST. O.G.D.

PLANTING NOTES

1. PLANTING AREAS SHALL BE PREPARED TO A DEPTH OF 12" TO 18" AND SHALL BE FERTILIZED WITH AN ORGANIC COMPOST OF 10% TO 15% OF 10-10-10 FERTILIZER (RATED AND BE TOP 4" OF SOIL). THESE CONDITIONS SHALL BE MET FOR ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL HAVE A SCHEDULED TEST FOR THE ABOVE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OF THE RESULTS OF THE TESTS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
2. PLANT TREES, SHRUBS, GRASSES, AND FERTILIZERS AS PER SPECIFICATIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINAL PLANTING AND MAINTENANCE OF LANDSCAPED AREAS.
4. ALL PLANTINGS AND SOIL CONDITIONS ARE TO BE COMPLETED BEFORE THE END OF THE WORK. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OF THE RESULTS OF THE TESTS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. PLANTS TO BE SUBMITTED 60 DAYS AND TREES TO BE SUBMITTED 90 DAYS BEFORE THE START OF FINAL ACCEPTANCE.
6. ALL SOIL AND WATER TESTS SHALL BE COMPLETED BEFORE THE START OF FINAL ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
7. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
8. AT THE COMPLETION OF THE INSTALLATION THE OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT THE INSTALLATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FINAL INSPECTION REMOVE ALL DEBRIS FROM THE SITE AND CLEAN NEIGHBORING AREAS.

TIER THREE USES

- **Defined as uses which are not directly related to agriculture but may be necessary to serve the A-2 district or may be difficult to locate in an urban area.**



TIER THREE FINDINGS

- **FINDING NO. 1**

The use as proposed will not be substantially detrimental to or in conflict with agricultural use of other property in the vicinity; and



TIER THREE FINDINGS

- **FINDING NO. 2**

The parcel on which such use is requested is not located in one of the County's "most productive agricultural areas" as the term is used in the Agricultural element of the General Plan; or



TIER THREE FINDINGS

- **FINDING NO. 2 (CONTINUED)**

The character of the use that is requested is such that the land may reasonably be returned to agricultural use in the future.



FINDING NO.1 – NOT BE DETRIMENTAL OR CONFLICTING WITH AGRICULTURAL USE

- **Surrounded on three sides by agricultural uses**
- **Conflicts with surrounding agricultural uses such as dust, noise, restricted spraying ...etc.**



FINDING NO.2 – NOT LOCATED IN “MOST PRODUCTIVE AGRICULTURAL AREAS”

- **Defined on a case-by-case**
- **Factors to be considered: Soil Type, Ag Production, Availability of Irrigation Water, Ownership & Parcelization Patterns, ...**



FINDING NO.2 – REASONABLY RETURNED TO AGRICULTURAL USE

- **Non-Agricultural Structures & Infrastructure Improvements will limit the Economic Viability of Returning Site to Agricultural Production**



STAFF CONCERNS

- All of the necessary findings required for approval cannot be made.
- Approval will establish a precedent for non-agricultural uses on the north side of Taylor Road.



USE PERMIT NO. 2008-10 “TURLOCK GOLF CENTER”

- Planning Commission Hearing: March 19, 2009 -

- One Person spoke in opposition
- Three People spoke in favor
- Use Permit Approved 5-1 (Assali)

P.C. Staff Report – Attachment 2

P.C. Minutes – Attachment 3



USE PERMIT NO. 2008-10 “TURLOCK GOLF CENTER”

- After Planning Commission Decision -

- Appeal letter received from a group of surrounding property owners
(Attachment “1”)



USE PERMIT NO. 2008-10 “TURLOCK GOLF CENTER”

- **After Planning Commission Decision -**
 - Staff received various letters both in support of and in opposition to the project.
 - Staff was also made aware of the “Third Amended Mutual Support Agreement”

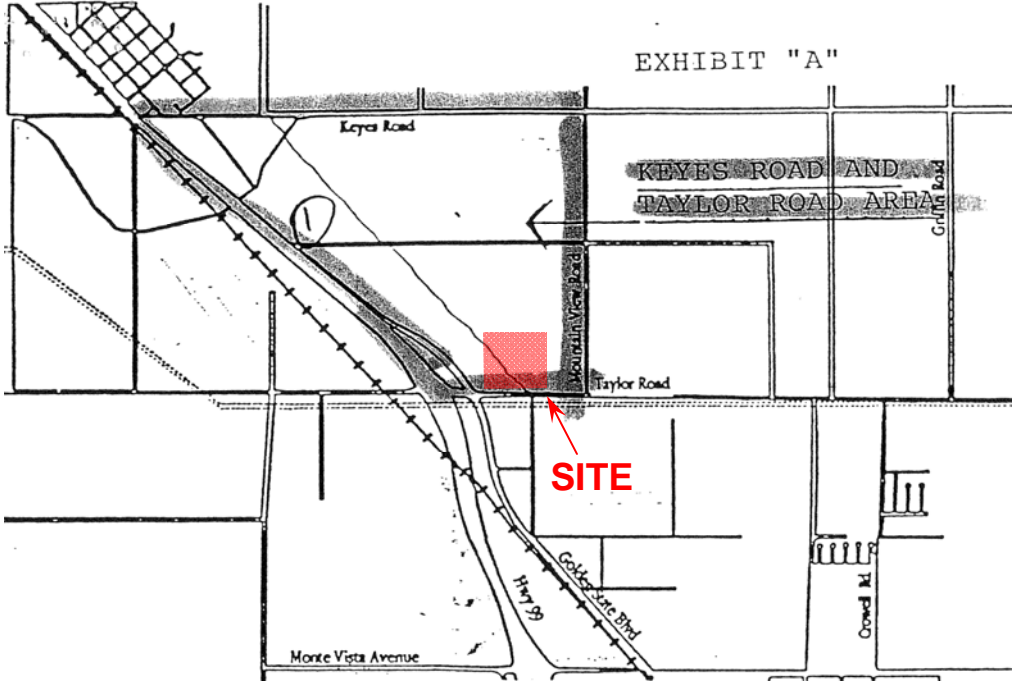


Third Amended Mutual Support Agreement

- **Between the City of Turlock & Stanislaus County** (July 1st, 1991)
- Section 1(b) of the Agreement specifically states that the City agrees “.....*to not oppose future development projects between Keyes Road and Taylor Road as identified in Exhibit “A”, attached hereto and incorporated by reference.*”



UP 2008-10
TURLOCK GOLF CENTER
EXHIBIT "A" – THIRD AMENDED MUTUAL SUPPORT AGREEMENT



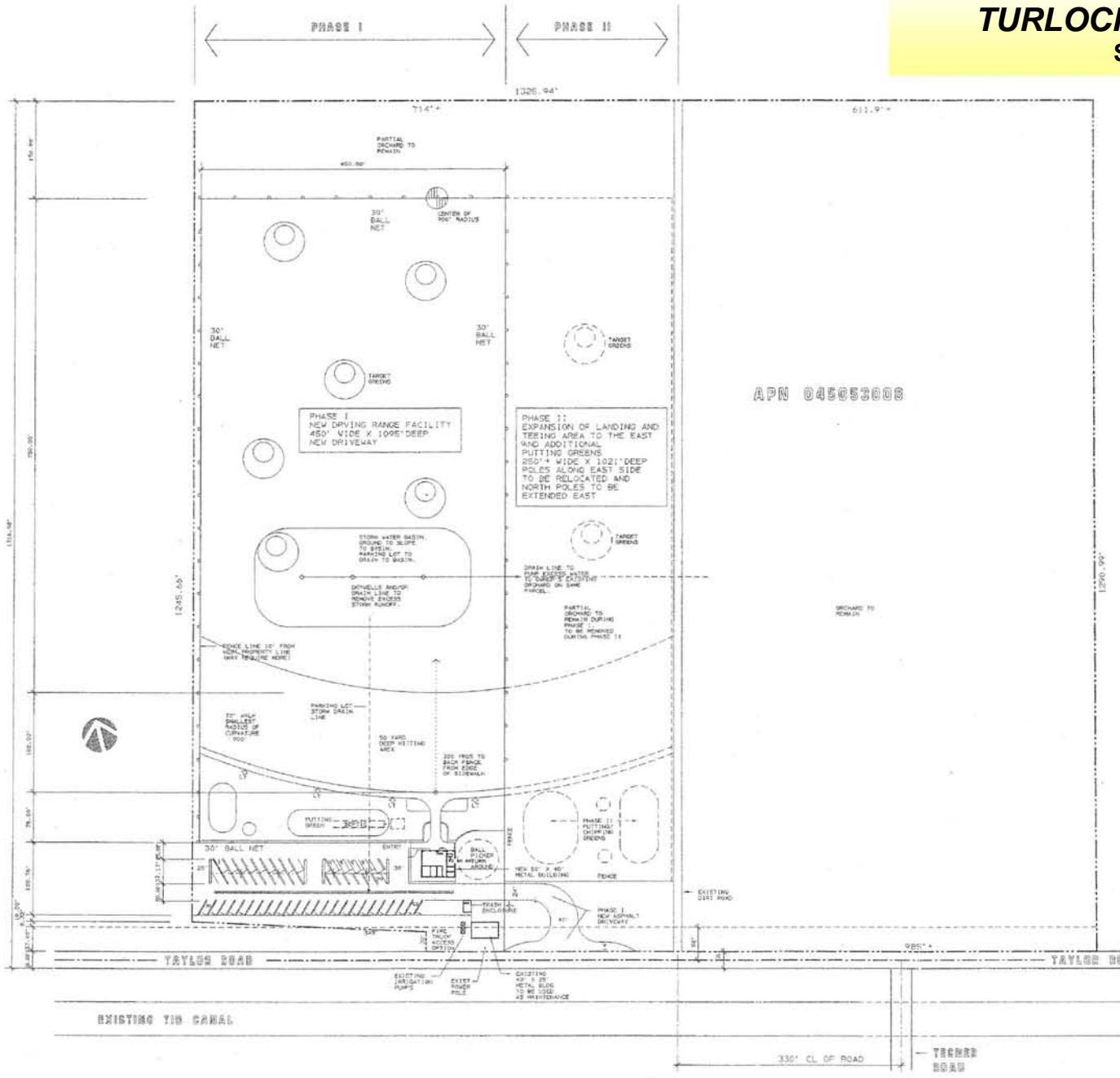
USE PERMIT NO. 2008-10 “TURLOCK GOLF CENTER”

Board Actions:

1. Approve the Appeal and find that the Use Permit Findings can not be met.
2. Uphold the Commission’s Decision - Deny the Appeal and as such Approve the Request (Actions 1-5 on Page 8 of Planning Commission Staff Report)

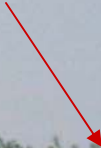


**UP 2008-10
TURLOCK GOLF CENTER
SITE PLAN**



**UP 2008-10
TURLOCK GOLF CENTER
LOOKING WEST ON TAYLOR ROAD**

SITE



**UP 2008-10
TURLOCK GOLF CENTER
LOOKING WEST ON TAYLOR ROAD**

SITE



“PRIME FARMLAND”

AS DEFINED BY THE DEPARTMENT OF CONSERVATION'S
FARMLAND MAPPING AND MONITORING PROGRAM

“Farmland with the best combination of physical and chemical features able to sustain long term agricultural production. This land has the soil quality, growing season, and moisture supply needed to produce sustained high yields. Land must have been used for irrigated agricultural production at some time during the four years prior to the mapping date.”



**UP 2008-10
TURLOCK GOLF CENTER
SOIL TYPES**
(Eastern Stanislaus Soil Survey Series - 1957)

DrA

DrA

DsA

DrA

TpA

SITE

GOLDEN STATE BLVD

TAYLOR RD

SOIL TYPES

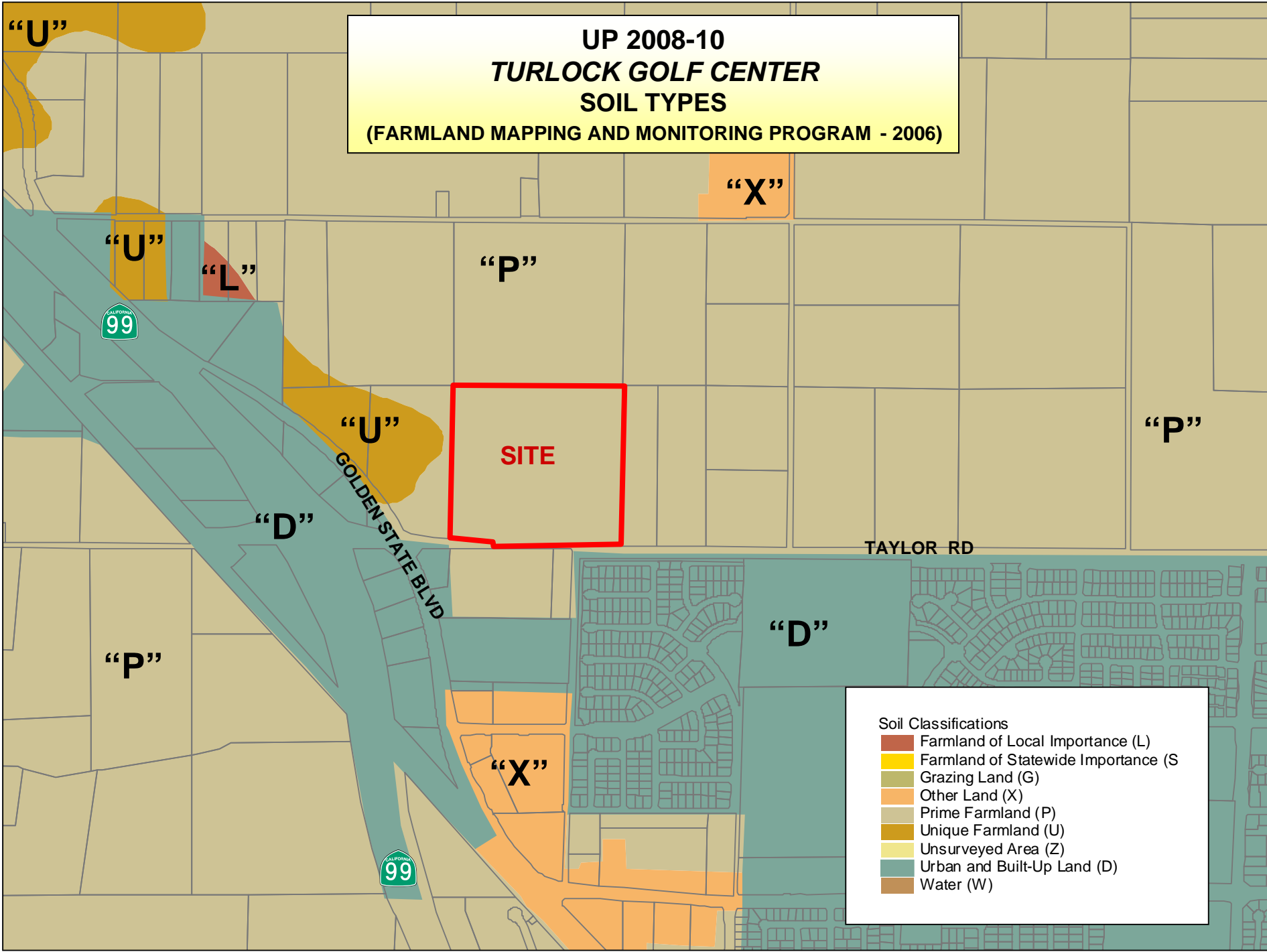
DrA: Dinuba sandy loam, 0%-1% Slopes, Index Rating: 77, Grade: 2

DsA: Dinuba sandy loam, 0%-1% Slopes, Index Rating: 43, Grade: 3

TpA: Traver sandy loam, 0%-1% Slopes, Index Rating: 60, Grade: 2



**UP 2008-10
TURLOCK GOLF CENTER
SOIL TYPES
(FARMLAND MAPPING AND MONITORING PROGRAM - 2006)**



Soil Classifications

■	Farmland of Local Importance (L)
■	Farmland of Statewide Importance (S)
■	Grazing Land (G)
■	Other Land (X)
■	Prime Farmland (P)
■	Unique Farmland (U)
■	Unsurveyed Area (Z)
■	Urban and Built-Up Land (D)
■	Water (W)

**UP 2008-10
TURLOCK GOLF CENTER
ALTERNATIVE BUFFER**

**300 FT BUFFER
ZONE**

**Area of
Concern**

**PEOPLE
INTENSIVE
AREAS**

GOLDEN STATE BLVD

TAYLOR ROAD

